

7:30 p.m. Call to Order.

Invocation: Father Ken Schmidt, St. Catherine of Siena Catholic Church.

Pledge of Allegiance.

Roll Call.

Proclamations:

1. Special Recognition Announcement by the City Manager.

A. Approval of City Council Meeting Minutes.

1. Regular Meeting Minutes of October 24, 2017.

* B. Approval of Consent Agenda Motions.

* C. Accounts Payable Register:

1. Communication from the City Manager recommending that City Council approve the Accounts Payable Register of November 7, 2017 as presented.

D. Public Hearings:

E. Petitions and Statements of Citizens:

F. Reports from the Administration:

* 1. Communication from the City Manager recommending that City Council:

1. approve Contract #17-5491 between the Michigan Department of Transportation and the City of Portage for the city share of improvements for the traffic signal upgrade work at the Portage Road and Stryker Way intersection;
2. adopt a Resolution authorizing the City Manager to sign Contract #17-5491, and

authorize the City Manager to sign all other documents related to this project on behalf of the city.

* 2. Communication from the City Manager recommending that City Council approve a \$75,000 budget transfer from the General Fund to the Capital Improvement Fund to construct six new city gateway signs.

* 3. Communication from the City Manager recommending that City Council approve the Final Plan for Whisper Rock Condominiums (Phase II) at 2275 West Centre Avenue.

* 4. Communication from the City Manager recommending that City Council approve the Final Preliminary Plat (engineering plans) for The Oaks (Phase I) at 4800 Bishop Avenue.

G. Communications:

H. Unfinished Business:

* 1. Communication from the City Manager recommending that City Council meet in Closed Session immediately following the regularly scheduled City Council Meeting of Tuesday, November 7, 2017.

* I. Minutes of Boards and Commissions Meetings:

1. Historic District Commission and Historic District Commission Historic District Study Committee Meeting Minutes of October 4, and Historic District Commission Special Meeting of October 18, 2017.
2. Portage Planning Commission of October 19, 2017.

J. Council Committee Reports:

K. New Business:

L. Bid Tabulations:

- * 1. Communication from the City Manager recommending that City Council approve the three-year lease of eight (8) Panasonic CF-33 Toughbooks through Capital Advantage Leasing of Grand Rapids, Michigan, at a leased price of \$29,806 and authorize the City Manager to execute all related documents on behalf of the city.

M. Other City Matters:

- 1. Statements of Citizens.
- 2. From City Council and City Manager.

* 3. Reminder of Meetings:

- a. Wednesday, November 8, 7:00 p.m., Environmental Board, City Hall Room No. 1.
- b. Monday, November 13, 7:00 p.m., Zoning Board of Appeals, City Council Chambers.
- c. Wednesday, November 15, 2:30 p.m., Senior Citizen Advisory Board, Portage Senior Center.
- d. Thursday, November 16, 7:00 p.m., District Library Board, Portage District Library.
- e. Thursday, November 16, 7:00 p.m., Planning Commission, Council Chambers.

* N. Materials Transmitted.

Adjournment.

CITY COUNCIL MEETING MINUTES FROM OCTOBER 24, 2017

The Regular Meeting was called to order by Mayor Strazdas at 7:33 p.m.

At the request of Mayor Strazdas, Associate Pastor Jim Galvin of Berean Baptist Church gave the invocation. Mayor Strazdas then invited Cub Scouts from Troop 287 and their Pack Leader, Ed Freed, to lead City Council and the audience in reciting the Pledge of Allegiance.

At the request of Mayor Strazdas, the City Clerk called the roll with the following members present: Councilmembers Jim Pearson, Patricia M. Randall, Claudette Reid and Terry Urban, Mayor Pro Tem Nasim Ansari and Mayor Peter Strazdas. Councilmember Richard Ford was absent with excuse. Also in attendance were City Manager Larry Shaffer, City Attorney Randy Brown and City Clerk Adam Herringa.

PROCLAMATION: Mayor Strazdas invited Ms. Pat Maye of the City of Portage Human Services Board and four students from the Kalamazoo Country Day School to assist in the reading of the Red Ribbon Week Proclamation. Mayor Strazdas issued the proclamation and asked that it be shared with the Kalamazoo Country Day School.

APPROVAL OF MINUTES: Motion by Ansari, seconded by Randall, to approve the Special Meeting Minutes of October 10, 2017, as presented. Upon a voice vote, motion carried 5 to 0 with Councilmember Reid abstaining.

Motion by Randall, seconded by Ansari, to approve the Regular Meeting Minutes of October 10, 2017, as presented. Upon a voice vote, motion carried 5 to 0 with Councilmember Reid abstaining.

Motion by Pearson, seconded by Randall, to approve the Pre-Council Meeting Minutes of October 23, 2017, as presented. Upon a voice vote, motion carried 4 to 0 with Councilmembers Urban and Reid abstaining.

* **CONSENT AGENDA:** Mayor Strazdas asked Councilmember Reid to read the Consent Agenda. Motion by Ansari, seconded by Reid, to approve the Consent Agenda motions as presented. Upon a roll call vote, motion carried 6 to 0.

* **APPROVAL OF ACCOUNTS PAYABLE REGISTER OF OCTOBER 24, 2017:** Motion by Ansari, seconded by Reid, to approve the Accounts Payable Register of October 24, 2017. Upon a roll call vote, motion carried 6 to 0.

PETITIONS AND STATEMENTS OF CITIZENS:

Former Mayor Betty Ongley, 860 Tozer Court, shared that she is a part of the League of Womens Voters and they recently discussed the leaf pickup program and how residents placing leaves in the street pose a safety hazard for bicyclists, walkers and joggers as they must move into travel lanes to avoid the piles. She asked that residents please take this into consideration and keep leaves and rubbish on the curb and not in the street.

Mr. Gerry Hoffmann, 614 Egleston Avenue, Kalamazoo, shared that he is President of the Edison Neighborhood Association of Kalamazoo and wanted to make the City of Portage aware of the Michigan Liquor Control Commission's effort to eliminate the "Half-Mile" rule governing the distance between alcohol retailers. Mr. Hoffmann expressed his deep concern for neighborhoods around the State of Michigan, shared information related to the rescission of the rule and implored the City Council to contact State Senator Margaret O'Brien and State Representative Brandt Iden to take action on measures that would preserve the "Half-Mile" rule. City Manager Shaffer asked City Council for the

opportunity to research and report back on this issue. Motion by Reid, seconded by Randall, to refer the matter to City Administration for review and a report in one month's time. Upon a roll call vote, motion carried 6 to 0.

REPORTS FROM THE ADMINISTRATION:

* **PURCHASE OF EMERGENCY SIREN CABINETS:** Motion by Ansari, seconded by Reid, to approve the sole source purchase of equipment to upgrade and replace emergency siren cabinets at six (6) siren sites from West Shore Services, Inc., of Allendale, Michigan, at a total cost of \$58,570 and authorize the City Manager to execute all related documents on behalf of the city. Upon a roll call vote, motion carried 6 to 0.

* **CLOSED SESSION:** Motion by Ansari, seconded by Reid, to meet in Closed Session immediately following the regularly scheduled Council Meeting of Tuesday, October 24, 2017. Upon a roll call vote, motion carried 6 to 0.

* **SEPTEMBER ENVIRONMENTAL ACTIVITY REPORT:** Motion by Ansari, seconded by Reid, to receive the September Environmental Activity Report as information only. Upon a roll call vote, motion carried 6 to 0.

* **MINUTES OF BOARDS AND COMMISSIONS MEETINGS:** City Council received the minutes of:

Zoning Board of Appeals of September 11, 2017.
Planning Commission of October 5, 2017.

COUNCIL COMMITTEE REPORT:

CITY MANAGER EVALUATION COMMITTEE: Mayor Strazdas shared that the City Manager Evaluation Committee composed of himself, Councilmember Pearson and Councilmember Randall had met and that all Councilmembers had completed their evaluations. He continued by stating that the evaluation material had been shared with City Council and the next step is to go into closed session to review and discuss the performance evaluation before taking any formal action.

NEW BUSINESS:

COMMUNICATION FROM COUNCILMEMBER PEARSON REGARDING INDIVIDUAL EVALUATION SCORES FOR THE PORTAGE CITY MANAGER: Mayor Strazdas deferred to Councilmember Pearson who raised the question of whether individual Councilmember performance evaluation scores of the City Manager can be made public. Mr. Pearson referenced the practice of other municipalities releasing scores and reviewed a 2007 opinion on the matter drafted by City Attorney Randy Brown. Attorney Brown spoke and shared that, in his opinion, the evaluation comments and feedback are exempt from release under the Freedom of Information Act. Mr. Brown then stated that City Council can decide to release the evaluation materials if they so desire, but past practice is to keep such information confidential and to only release evaluation scores reflecting the combined average of all Councilmembers' scores. Attorney Brown clarified that City Council does not have a formal policy prohibiting the release of information such as each individual Councilmember's scoring summary. In response to a question from Councilmember Pearson, Attorney Brown stated that individual comments would be exempt from FOIA but that individual performance evaluation scores would not.

Councilmember Pearson inquired if a formal FOIA request would be needed to release the scores and City Manager Shaffer replied that if City Council wishes to release the information, they could do

so. Councilmember Pearson inquired further whether an individual Councilmember could release individual scores of his or her own accord and Attorney Brown replied that there is no prohibition against such action. Councilmember Reid stated her opinion that City Council should decide whether to release the scores. Attorney Brown shared that, if the City Manager Evaluation Committee discussed not releasing the scores or related information, such discussion may cause his opinion to change. Mayor Strazdas replied that the committee did not discuss the issue of releasing individual scores. Mayor Strazdas also shared that Councilmember Ford asked if the City Manager Evaluation topic and related discussion could take place at the next City Council Meeting due to his absence from the current meeting.

At the request of Councilmember Randall, City Manager Shaffer shared that he appreciates and respects the evaluation process utilized by City Council along with the value of transparency. He stated that he has no concerns about the release of part or all of his evaluation and encouraged releasing the documents. Councilmember Reid shared her belief that managing the City Manager is one of the most important things that a councilmember can do. She continued by stating that numeric scores are only part of the performance review process and that the comments are equally important. Releasing one without the other, she stated, does not make sense. Councilmember Reid continued by stating that the comments she wrote were not structured for release to the public and that, should City Council determine it appropriate to release evaluation materials, it should do so going forward.

Mayor Strazdas inquired if City Council was willing to delay the evaluation for two weeks until Councilmember Ford could be present or if the desire of City Council was to go into closed session tonight. Motion by Ansari, seconded by Reid, to postpone meeting in closed session to conduct the evaluation of the City Manager to the Regular City Council Meeting of November 7, 2017. Following discussion and upon the advice of the City Attorney, the motion was amended to state “to adjourn the closed session meeting to conduct the evaluation of the City Manager to the Regular City Council Meeting of November 7, 2017.”

Councilmember Urban expressed his belief that the evaluation should occur at this meeting and not be delayed. He explained that there are no guarantees that everyone will be present for the next meeting and that important votes and issues are frequently tackled and not delayed if someone is absent. Councilmember Randall stated that the City Manager came to the meeting expecting his performance evaluation to occur and inquired what Mr. Shaffer thought about postponing the evaluation for two weeks. Mr. Shaffer expressed his desire for City Council to work well together and that City Council should consider honoring Councilmember Ford’s request.

Upon a roll call vote, motion carried 5 to 1 with Councilmember **Pearson** voting no.

OTHER CITY MATTERS:

STATEMENTS OF CITY COUNCIL AND CITY MANAGER: Councilmember Reid shared that October 28th is brush drop off day at the City of Portage compost facility (10905 Oakland Drive). She also urged residents to use extra caution while driving on Halloween and encouraged people to learn about the candidates and vote on Election Day.

Councilmember Randall recognized city workers for their hard work out in the rain and echoed the concerns of former Mayor Ongley about leaves and brush posing a safety hazard for bicyclists and pedestrians. She inquired if reminders could be included in the *Portager* about keeping leaves on the lawn until the evening before pickup day. Councilmember Randall concluded by expressing appreciation for the *Portage Alert* reminders she received about leaf pickup.

City Manager Shaffer congratulated City Clerk James Hudson on his retirement and thanked him for his years of service. Mr. Shaffer then congratulated City Clerk Adam Herringa on his promotion and stated that he is looking forward to working with Mr. Herringa and to Mr. Herringa’s continued professional development.

Mayor Pro Tem Ansari shared that the community lost a gentleman and friend in Dr. Joseph Kincaid who passed away on October 20, 2017.

Mayor Strazdas shared that leaf pickup is happening, but leaves are blocking stormwater catch basins around the City which is causing some flooding. Mayor Strazdas then apologized to residents for the recent closure of Oakland Drive due to flooding and stated that the City is working to address trouble spots where flooding can occur.

MATERIALS TRANSMITTED:

* **MATERIALS TRANSMITTED:** Motion by Ansari, seconded by Reid, to receive the Departmental Monthly Reports. Upon a roll call vote, motion carried 6 to 0.

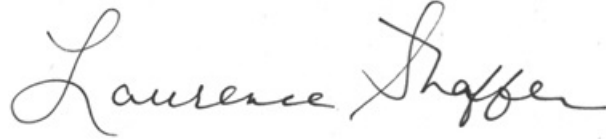
ADJOURNMENT: Mayor Strazdas adjourned the meeting at 8:29 p.m.

Adam Herringa, City Clerk

*Indicates items included on the Consent Agenda.

TO: Honorable Mayor and City Council

FROM: Laurence Shaffer, City Manager



SUBJECT: Accounts Payable Register

SUPPORTING PERSONNEL: William Furry, Director of Finance

ACTION RECOMMENDED: That City Council approve the Accounts Payable Register of November 7, 2017 as presented.

The City Council reviews and approves the bi-weekly Accounts Payable Register which includes automated clearing house payments, paper checks and auto-pay payments. The attached Accounts Payable Register covers the period October 8, 2017 through October 22, 2017 and notes \$453,932.41 in automated clearing house payments, \$1,413,035.92 in paper checks and \$84,874.78 in auto-pay payments for a grand total of \$1,951,843.11.

FUNDING: N/A

Attachments: 1. Accounts Payable Register

ACCOUNTS PAYABLE REGISTER
Check Dates From: 10/8/2017 To: 10/22/2017

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Check Type: ACH Transaction

Check Date	Check	Vendor Name	Description	Amount
10/20/2017	7667(A)	ACCESS EMPLOYER STAFFING SERVICES	TEMPORARY EMPLOYEES	8,092.87
10/20/2017	7668(A)	ALL CITY MANAGEMENT SERVICES, INC.	SCHOOL CROSSING GUARDS	3,250.80
10/20/2017	7669(A)	ALRO STEEL CORPORATION	SHOP MAINTENANCE	245.64
10/20/2017	7670(A)	ANALYTICAL TESTING & CONSULTIN	CDBG - STEVENS 502 DORSET	600.00
10/20/2017	7671(A)	ANIMAL REMOVAL SERVICE, LLC	REMOVAL SERVICES	2,270.00
10/20/2017	7672(A)	APOLLO FIRE APPARATUS REPAIR	FIRE RESCUE SUPPLIES	598.96
10/20/2017	7673(A)	APPROVED PROTECTION SYSTEMS	FIRE EXTINGUISHER	260.80
10/20/2017	7674(A)	AUMACK, MICHAEL	UMPIRE PAYROLL	75.00
10/20/2017	7675(A)	BCHS-HELPNET	HELPNET EAP PROGRAM	1,628.67
10/20/2017	7676(A)	BEEBE, RONALD E.	UMPIRE PAYROLL	48.00
10/20/2017	7677(A)	BLACKBOARD, INC.	SOFTWARE MAINTENANCE	14,000.00
10/20/2017	7678(A)	BLUE CARE NETWORK-GREAT LAKES	INSURANCE PREMIUMS	121,142.81
10/20/2017	7679(A)	BROWNELL'S INCORPORATED	GUN PARTS	172.19
10/20/2017	7680(A)	C C I SOUTH, INC.	RELOCATE FAX LINE	210.00
10/20/2017	7681(A)	C D W GOVERNMENT, INC.	MACBOOK PRO & HARD DRIVE	208.55
10/20/2017	7682(A)	C T S TELECOM, INC.	TELEPHONE SERVICE	2,921.24
10/20/2017	7683(A)	CARRIER & GABLE	TRAFFIC SIGNAL CAMERA	12,835.00
10/20/2017	7684(A)	CHARTER COMMUNICATIONS	CABLE TV	102.97
10/20/2017	7685(A)	CITY OF PORTAGE	SPECIAL ASSESSMENTS	9,090.00
10/20/2017	7686(A)	CLEANIT CORP	CAR WASHES	228.00
10/20/2017	7687(A)	DEER CONTRACTING & LANDSCAPE	RETAINING WALL REPAIR	7,053.00
10/20/2017	7688(A)	DELTA DENTAL PLAN OF MICHIGAN	DENTAL INSURANCE	17,627.93
10/20/2017	7689(A)	DEPATIE FLUID POWER CO., INC.	HYDRAULIC MATERIALS	564.35
10/20/2017	7690(A)	DUST & CAMPBELL, P.C.	OCT '17 CONSULTATION	175.00
10/20/2017	7691(A)	EKLOV, ERICA	EMPLOYEE REIMBURSEMENT	215.29
10/20/2017	7692(A)	ENGINEERED PROTECTION SYSTEMS, INC.	FIRE FACILITY MAINTANCE	603.00
10/20/2017	7693(A)	GAIL ANDRUS TRAVEL	TRIP VENDOR PAYMENT	1,469.50
10/20/2017	7694(A)	GORDON WATER SYSTEMS	BOTTLED WATER SERVICE	90.00
10/20/2017	7695(A)	GRIFFIN PEST SOLUTIONS, INC.	PEST CONTROL	210.00
10/20/2017	7696(A)	INDUSCO SUPPLY CO., INC.	CLEANING & PAPER PRODUCTS	429.56

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Check Date	Check	Vendor Name	Description	Amount
10/20/2017	7697(A)	JAROTH, INC	PAY PHONES	228.00
10/20/2017	7698(A)	KUSHNER & COMPANY, INC.	COBRA JULY 2017-JAN 2018	317.30
10/20/2017	7699(A)	LANDS END	UNIFORMS	343.00
10/20/2017	7700(A)	LAWSON PRODUCTS, INC	MAINTENANCE SUPPLIES	1,100.19
10/20/2017	7701(A)	MAIL MANAGEMENT, INC.	MAILING METER SUPPLIES	465.45
10/20/2017	7702(A)	MAPLE HILL SPRINKLING, INC.	IRRIGATION REPAIRS	4,543.00
10/20/2017	7703(A)	MCCULLIN, LARRY W.	UMPIRE PAYROLL	115.00
10/20/2017	7704(A)	MEEKHOF TIRE SALES & SERVICE INC.	UNIT TIRES	1,271.72
10/20/2017	7705(A)	MEJEUR ELECTRIC LLC	LIGHTING REPAIRS	1,428.00
10/20/2017	7706(A)	MICHIGAN ELECTION RESOURCES, LLC	FOLDED ABSENTEE BALLOTS	4,037.22
10/20/2017	7707(A)	NEW FRESH CLEANING SERVICE	JANITORIAL SERVICES	1,687.00
10/20/2017	7708(A)	PCM SALES, INC.	MONTHLY PAYMENT	40,960.00
10/20/2017	7709(A)	PERCEPTIVE CONTROLS, INC.	SCADA MAINTENANCE	2,179.08
10/20/2017	7710(A)	RIDGE AUTO NAPA	MAINTENANCE SUPPLIES	515.78
10/20/2017	7711(A)	ROAD EQUIPMENT PARTS CENTER	MAINTENANCE SUPPLIES	1,359.29
10/20/2017	7712(A)	SIMMONS FORD	REPAIR SUPPLIES - UNIT #82	879.05
10/20/2017	7713(A)	SNELL, DEBRA	PROGRAM INSTRUCTOR	144.00
10/20/2017	7714(A)	SUEZ WATER ENVIRONMENTAL SERVICES	WATER CHEMICALS	176,140.08
10/20/2017	7715(A)	VISION SERVICE PLAN (OH)	VISION SERVICE PLAN	2,080.43
10/20/2017	7716(A)	VOLOGY DATA SYSTEMS	CONFERENCE STATION	1,290.00
10/20/2017	7717(A)	WARNER NORCROSS & JUDD LLP	GENERAL RETAINER	4,075.00
10/20/2017	7718(A)	WEST MICHIGAN STAMP & SEAL, INC	NAME PLATE	18.20
10/20/2017	7719(A)	WIGHTMAN & ASSOCIATES, INC.	2017 BI-ANNUAL INSPECTIONS	1,896.25
10/20/2017	7720(A)	XEROX CORPORATION	SEPT 2017 LEASE	440.24
Total ACH Transactions:				453,932.41

Check Type: Paper Check

10/16/2017	10125	PETTY CASH-BARB GARLOW	REPLENISHMENT CHECK	361.49
10/16/2017	10126	PETTY CASH-JANET GATES	REPLENISHMENT CHECK	491.66
10/18/2017	10129	PETTY CASH-HOLLY CERNY	REPLENISHMENT CHECK	395.36
10/18/2017	10130	PETTY CASH-ALYSSA MILBECK	REPLENISHMENT CHECK	421.88
10/11/2017	303971	BINDER PARK ZOOLOGICAL SOCIETY, INC	ZOOMOBILE EDUCATION	200.00

ACCOUNTS PAYABLE REGISTER
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Check Date	Check	Vendor Name	Description	Amount
10/11/2017	303972	ENVIRONMENTAL SYSTEMS RESEARCH	MAINTENENCE CONTRACT	5,400.00
10/18/2017	303973	BRIAN PENNY	MONSTER MASH EXPENSE	300.00
10/18/2017	303974	FUN SERVICES	MONSTER MASH EXPENSE	778.75
10/18/2017	303975	IMAGINARIUM PICTURES	MONSTER MASH EXPENSE	350.00
10/20/2017	303976	10TH DISTRICT COURT	BAIL BOND	306.00
10/20/2017	303977	10TH DISTRICT COURT	BAIL BOND	353.00
10/20/2017	303978	58TH DISTRICT COURT	BAIL BOND	50.00
10/20/2017	303979	A B C WAREHOUSE	APPLIANCES	485.00
10/20/2017	303980	A T & T	TELEPHONE SERVICE	4,625.77
10/20/2017	303981	ACKER-SMITH, JUDY	REIMBURSEMENT	13.62
10/20/2017	303982	ADP, INC.	BI-WEEKLY PAYROLL	855.36
10/20/2017	303983	ALLEGRA PRINT & IMAGING	PRINTING SERVICE	428.50
10/20/2017	303984	ARIF, MUHAMMAD	EMPLOYEE REIMBURSEMENT	25.00
10/20/2017	303985	B S & A SOFTWARE	SOFTWARE TRAINING	1,425.00
10/20/2017	303986	BEROW, LEANDRA	TRIP REFUND	120.00
10/20/2017	303987	BEST WAY DISPOSAL, INC.	17/18 CURBSIDE RECYCLING	47,031.00
10/20/2017	303988	BEYER, DEBORAH	TRIP REFUND	125.00
10/20/2017	303989	BLUE CROSS/BLUE SHIELD OF MICH	INSURANCE PREMIUMS	68,960.43
10/20/2017	303990	BOELE, SUSAN	TRIP REFUND	130.00
10/20/2017	303991	BORGESS HEALTH ALLIANCE	MEDICAL SERVICES	659.00
10/20/2017	303992	BRINKMAN, SALLY	TRIP REFUND	110.00
10/20/2017	303993	BRONSON HEALTHCARE GROUP	LEGAL BLOOD DRAWS	200.00
10/20/2017	303994	BROOKS, RENA	TRIP REFUND	102.00
10/20/2017	303995	BROWN, PAT	TRIP REFUND	125.00
10/20/2017	303996	BUILD CRAFT DESIGN/BUILD	CDBG - 7533 PRIMROSE	10,000.00
10/20/2017	303997	BURKE, GREGORY	TRAINING EXPENSES	386.00
10/20/2017	303998	BURKE, JOYCE	TRIP REFUND	60.00
10/20/2017	303999	CARTRIDGE WORLD	INK CARTRIDGES	5,403.01
10/20/2017	304000	CASCADE TOWNSHIP	TRAINING EXPENSE	20.00
10/20/2017	304001	CINTAS CORP.	PANT RENTAL	6.46
10/20/2017	304002	CITY OF KALAMAZOO TREASURER	WATER SERVICE	819.37
10/20/2017	304003	CITY OF KALAMAZOO TREASURER	SANITARY SEWER CHARGES	53,943.34

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Check Date	Check	Vendor Name	Description	Amount
10/20/2017	304004	CITY OF KALAMAZOO TREASURER	SANITARY SEWER CHARGES	242,608.12
10/20/2017	304005	CLEAR CHANNEL AIRPORTS	ADVERTISING	888.00
10/20/2017	304006	CONNECT DESIGN BUILD, LLC	BOND REFUND	50.00
10/20/2017	304007	CONSUMERS ENERGY	STREETLIGHTS	37,069.80
10/20/2017	304008	COSTAR REALTY INFORMATION, INC.	REALTY SALES	321.82
10/20/2017	304009	CUTLER, SUE	TRIP REFUND	60.00
10/20/2017	304010	D L GALLIVAN INC.	PRINTER LEASE	188.37
10/20/2017	304011	DAVE'S CONCRETE PRODUCTS, INC.	TRAILHEAD REPAIRS	7,399.00
10/20/2017	304012	DETROIT SALT CO.	ICE CONTROL SALT	71,753.69
10/20/2017	304013	DEWOLF & ASSOCIATES	EMPLOYEE TRAINING	745.00
10/20/2017	304014	DJ'S LAWN SERVICE, INC.	TREE/STUMP REMOVAL	6,654.05
10/20/2017	304015	DOSTER, KYLE	EMPLOYEE TRAINING	150.00
10/20/2017	304016	EMANUAL CONSTRUCTION	BOND REFUND	1,180.00
10/20/2017	304017	ENGINEERED PROTECTION SYSTEMS, INC.	VIDEO SERVICE AGREEMENT	225.00
10/20/2017	304018	FADER EQUIPMENT, INC.	CONCRETE CHUTE RENTAL	100.00
10/20/2017	304019	FAWLEY OVERHEAD DOOR, INC.	FIRE TRAINING GROUND	105.00
10/20/2017	304020	FLECK, CAROL	PROGRAM REFUND	25.00
10/20/2017	304021	FORSHEE, MARK	UMPIRE PAYROLL	47.00
10/20/2017	304022	GEORGEAU, VICTORIA	EMPLOYEE REIMBURSEMENT	7.00
10/20/2017	304023	GHERARDI, PATRICIA	TRIP REFUND	110.00
10/20/2017	304024	GMITTER, KASSANDRA	HAYLOFT REFUND	150.00
10/20/2017	304025	GOVERNMENT FINANCE OFFICERS ASSOC	ANNUAL MEMBERSHIP	305.00
10/20/2017	304026	GRANDSTAFF, ANNE	TRIP REFUND	125.00
10/20/2017	304027	HEMPHILL PEARSON, BARBARA	TRIP REFUND	130.00
10/20/2017	304028	HERTZ, SHANNON	KHRMA LEGISLATIVE UPDATE	20.00
10/20/2017	304029	HOLOCENE ENVIRONMENTAL LLC	OPERATOR SERVICES	150.00
10/20/2017	304030	HOME DEPOT	CLEANING & MAINT SUPPLIES	589.18
10/20/2017	304031	INT'L ASSOC OF FIRE CHIEFS	ANNUAL MEMBERSHIP	234.00
10/20/2017	304032	J & B PROFESSIONAL TREE SERVIC	TREE REMOVAL SERVICE	9,550.00
10/20/2017	304033	J J KELLER & ASSOCIATES, INC.	SUPERVISOR NEWSLETTER	908.42
10/20/2017	304034	JOHNSON, MARLESA	GRAIN ELV REFUND	100.00
10/20/2017	304035	KALAMAZOO AREA TRANSPORTATION STUDY	TRAFFIC COUNTING SERVICES	2,790.00

ACCOUNTS PAYABLE REGISTER
Check Dates From: 10/8/2017 To: 10/22/2017

Check Date	Check	Vendor Name	Description	Amount
10/20/2017	304036	KALAMAZOO COUNTY CHILD ABUSE AND NE	DEPOSIT REFUND	100.00
10/20/2017	304037	KALAMAZOO COUNTY HAZMAT	FIRE MEMBERSHIP	1,400.00
10/20/2017	304038	KALAMAZOO COUNTY ROAD COMMISSI	LIQUID TAR EMULSION	2,012.89
10/20/2017	304039	KEANE, PEG	PROGRAM REFUND	25.00
10/20/2017	304040	KEEP MICHIGAN BEAUTIFUL, INC.	LUNCHEON FOR 6 YOUTHS	175.00
10/20/2017	304041	KENT COMPANIES, INC.	CONCRETE RAISING SERVICES	1,000.00
10/20/2017	304042	KIEWIET, ALICIA	GRAIN ELV REFUND	100.00
10/20/2017	304043	KIM CRITZ	MONSTER MASH POSTER	325.00
10/20/2017	304044	KINNER, JOHN	OVERPYMT REFUND	118.78
10/20/2017	304045	KISINGER, PATRICIA	TRIP REFUND	125.00
10/20/2017	304046	KNOX CO.	FIRE MARSHAL SUPPLIES	174.00
10/20/2017	304047	KZOO TIRE COMPANY	TIRES AND TIRE REPAIR	886.00
10/20/2017	304048	LAJOICE, MARY	TRIP REFUND	82.00
10/20/2017	304049	LANGEANCE, MARYLN	TRIP REFUND	125.00
10/20/2017	304050	LANGUAGE LINE, INC	LANGUAGE LINE USAGE	21.78
10/20/2017	304051	LEADS ONLINE LLC	INVESTIGATION SYSTEM	3,688.00
10/20/2017	304052	LENDING HANDS OF SW MICHIGAN	RENTAL REFUND	100.00
10/20/2017	304053	LEXISNEXIS RISK SOLUTIONS	E-CITATION	2,718.90
10/20/2017	304054	LOCKER, MADELYNN	TRIP REFUND	65.00
10/20/2017	304055	LUDERS, ROBERT	CHECK REPLACEMENT	150.95
10/20/2017	304056	MASACUNI CORP	BOND REFUND	580.00
10/20/2017	304057	MCDONALD'S TOWING & RESCUE, INC.	TOWING SERVICES	60.00
10/20/2017	304058	MCNALLY ELEVATOR CO.	ELEVATOR LOAD TEST	1,024.75
10/20/2017	304059	MED EXPRESS URGENT CARE, PC MICH	DOT PHYSICALS (DPS)	285.00
10/20/2017	304060	MEDILODGE OF PORTAGE	SR. CENTER LUNCHESES	80.50
10/20/2017	304061	MICH MUNICIPAL POLICE & FIRE REPAIR	POLICE VEHICLE REPAIRS	284.91
10/20/2017	304062	MICHIGAN PAVEMENT MARKINGS LLC	ROMENCE RD PAINTING	484.75
10/20/2017	304063	MICHIGAN SECURITY & LOCK	LOCKS & KEYS	563.00
10/20/2017	304064	MID-AMERICA APPRAISAL CO.	PROPERTY APPRAISAL	760.00
10/20/2017	304065	MIDWEST CUSTOM EMBROIDERY COMPANY	RANGER JACKET EMBROIDERY	76.00
10/20/2017	304066	MILLER ROAD TRANSFER STATION	DISPOSAL SERVICES	190.00
10/20/2017	304067	MILLER, WILIAM & MARY	TRIP REFUND	225.00

ACCOUNTS PAYABLE REGISTER

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Check Dates From: 10/8/2017 To: 10/22/2017

Check Date	Check	Vendor Name	Description	Amount
10/20/2017	304068	MLIVE MEDIA GROUP	BIDS WANTED ADS	53.02
10/20/2017	304069	MOORE, CHRISTY	GRAIN ELV REFUND	100.00
10/20/2017	304070	MOORS I, LLC	MEAL EXPENSE	76.45
10/20/2017	304071	MOSHER, MARGUERITE	PROGRAM REFUND	24.00
10/20/2017	304072	MULDERS LANDSCAPE SUPPLIES INC	TOP SOIL	990.00
10/20/2017	304073	N P E L R A	ANNUAL MEMBERSHIP	190.00
10/20/2017	304074	OAKLAND HILLS CONDOMINIUM	OVER PAYMENT	87.70
10/20/2017	304075	OCCAM VIDEO SOLUTIONS	EMPLOYEE TRAINING	395.00
10/20/2017	304076	OFFICE DEPOT, INC.	OFFICE CHAIR REPLACE	500.50
10/20/2017	304077	OFFICE DEPOT, INC.	PD OFFICE SUPPLIES	556.36
10/20/2017	304078	OLDENBURG, GEORGANNE	TRIP REFUND	80.00
10/20/2017	304079	ONGLEY, JILL	PHOTO CLASS REFUND	35.00
10/20/2017	304080	ORBIS ENVIRONMENTAL CONSULTING	E. ROOT SAWMILL/PORT	1,712.00
10/20/2017	304081	OTTAWA COUNTY CENTRAL DISPATCH	EMPLOYEE TRAINING	85.00
10/20/2017	304082	P K CONTRACTING, INC.	LINE STRIPING	1,500.00
10/20/2017	304083	PATTERSON, TREVER	EMPLOYEE REIMBURSEMENT	117.00
10/20/2017	304084	PEARSON, JOHN	TRIP REFUND	130.00
10/20/2017	304085	PETERS, STEVE	SOFTBALL REFUND	100.00
10/20/2017	304086	PORTAGE GLASS & MIRROR	PLEXIGLASS WINDOW	1,275.00
10/20/2017	304087	PREFERRED COMMUNICATIONS, INC.	PRINTERS	3,436.88
10/20/2017	304088	R W LAPINE INC.	HVAC ON-CALL SERVICE	390.50
10/20/2017	304089	RENEWED EARTH, INC.	LEAF/BRUSH REMOVAL	9,083.33
10/20/2017	304090	RESCUEGEAR, INC.	FIRE TECH RESCUE EQUIP	3,998.02
10/20/2017	304091	RESTORATIVE LAKE SCIENCES, LLC	2017 WEST LAKE WEED	3,000.00
10/20/2017	304092	REYNOUT, BRENT	TRAINING EXPENSES	480.00
10/20/2017	304093	RHODES, KEVIN	UMPIRE PAYROLL	42.00
10/20/2017	304094	ROE, AUDREY	TRIP REFUND	115.00
10/20/2017	304095	ROSS, FLORENCE	TRIP REFUND	125.00
10/20/2017	304096	SACKETT'S CARPET CITY	CARPET STATION NO. 1	22,097.33
10/20/2017	304097	SACKETT, SUSAN	GRAIN ELV REFUND	100.00
10/20/2017	304098	SCHAEBERLE, DIANE	TRIP REFUND	130.00
10/20/2017	304099	SCHULTZ, GREG	WESTFIELD REFUND	100.00

ACCOUNTS PAYABLE REGISTER
Check Dates From: 10/8/2017 To: 10/22/2017

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Check Date	Check	Vendor Name	Description	Amount
10/20/2017	304100	SCHUUR, KAREN	STUART REFUND	150.00
10/20/2017	304101	SHORT, MARY	TRIP REFUND	120.00
10/20/2017	304102	SINOTTE, SANDRA	TRIP REFUND	110.00
10/20/2017	304103	SIRCHIE FINGER PRINT LABORATORIES	IC SUPPLIES	113.06
10/20/2017	304104	SMITH, ROBERT	UMPIRE PAYROLL	42.00
10/20/2017	304105	SOCIETY FOR HUMAN RESOURCE MGT	SHRM MEMBERSHIP-HR	199.00
10/20/2017	304106	STAP BROS LAWN & LANDSCAPE,INC	HERBICIDE APPLICATIO	5,951.00
10/20/2017	304107	STATE OF MICHIGAN	SOR FEES	90.00
10/20/2017	304108	STATE OF MICHIGAN	SOR FEES	60.00
10/20/2017	304109	STATE OF MICHIGAN (BOILER DIV)	ELEVATOR OPERATION	180.00
10/20/2017	304110	STATE OF MICHIGAN (DOT)	TRAFFIC SIGNAL ENERGY	269.08
10/20/2017	304111	STATE SYSTEMS RADIO, INC	RADIO SERVICE	467.50
10/20/2017	304112	STRYD, THOMAS & NANCY	TRIP REFUND	200.00
10/20/2017	304113	STRYD, THOMAS & NANCY	TRIP REFUND	100.00
10/20/2017	304114	SUITS U TAILOR SHOP INC	UNIFORM ALTERATIONS	272.00
10/20/2017	304115	TELGENHOFF, MANDY	PHOTO CLASS REFUND	35.00
10/20/2017	304116	THAYER, GLENNA	TRIP REFUND	125.00
10/20/2017	304117	TILLERS INTERNATIONAL	TRIP EXPENSE	1,350.00
10/20/2017	304118	TRAFFIC SAFETY WAREHOUSE	TRAFFIC PADDLES	1,528.49
10/20/2017	304119	TRAFFIC TECH SERVICES LLC	TRAFFIC COUNTING	240.00
10/20/2017	304120	TRUGREEN PROCESSING	TURF MAINTENANCE	917.00
10/20/2017	304121	U S POSTMASTER	PORTAGER POSTAGE	8,000.00
10/20/2017	304122	UNITED PARCEL SERVICE	WEEKLY DELIVERY	12.00
10/20/2017	304123	USA TODAY	SUBSCRIPTION FEES	24.90
10/20/2017	304124	VANDENBRINK, BRIAN	EMPLOYEE REIMBURSEMENT	50.97
10/20/2017	304125	VANGUARD FIRE & SUPPLY CO., INC.	EXTINGUISHER INSPECTION	345.00
10/20/2017	304126	VERIZON WIRELESS SERVICES, LLC	WIRELESS SERVICE	2,460.58
10/20/2017	304127	Ward Electric Co.	BOND REFUND	66.00
10/20/2017	304128	WATKINS, DARRYL	RENTAL REFUND	100.00
10/20/2017	304129	WEBB, MEGAN	SCHRIER REFUND	100.00
10/20/2017	304130	WENSTRUP, CATHY	TRIP REFUND	125.00
10/20/2017	304131	WENTWORTH, JORDAN	EMPLOYEE REIMBURSEMENT	107.01

ACCOUNTS PAYABLE REGISTER
Check Dates From: 10/8/2017 To: 10/22/2017

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Check Date	Check	Vendor Name	Description	Amount
10/20/2017	304132	WILLIAMS ASSOCIATES ARCHITECTS, LTD	ARCHITECT SERVICES	6,310.40
10/20/2017	304133	WITMER PUBLIC SAFETY GROUP	FIRE PPE GEAR	2,234.06
10/20/2017	304134	BALKEMA EXCAVATING, INC.	CHOPIN/MOZART PROJECT	218,272.51
10/20/2017	304135	LAKELAND ASPHALT CORP.	PORTAGE RD, MANDIGO PROJ	504,661.00
Total Paper Checks:				1,413,035.92
Check Type: Auto-Pay Payments				
10/10/2017	5562	CONSUMERS ENERGY	GAS-ELECTRIC	14,923.71
10/12/2017	5581	CONSUMERS ENERGY	GAS-ELECTRIC	9,599.67
10/13/2017	5582	CONSUMERS ENERGY	GAS-ELECTRIC	23,981.55
10/16/2017	5583	CONSUMERS ENERGY	GAS-ELECTRIC	2,025.15
10/16/2017	5559	RANDALL BROWN & ASSOC	MONTHLY RETAINER	18,810.00
10/17/2017	5584	CONSUMERS ENERGY	GAS-ELECTRIC	11,440.70
10/20/2017	5604	CONSUMERS ENERGY	GAS-ELECTRIC	4,094.00
Total Auto-Pay Payments:				84,874.78
Grand Total:				1,951,843.11

TO: Honorable Mayor and City Council

FROM: Laurence Shaffer, City Manager



SUBJECT: MDOT Contract #17-5491 - Portage Road/Stryker Way Traffic Signal

SUPPORTING PERSONNEL: Kendra Gwin, Deputy Director of Transportation & Utilities

ACTION RECOMMENDED: That City Council:

1. approve Contract #17-5491 between the Michigan Department of Transportation and the City of Portage for the city share of improvements for the traffic signal upgrade work at the Portage Road and Stryker Way intersection;
2. adopt a Resolution authorizing the City Manager to sign Contract #17-5491, and

authorize the City Manager to sign all other documents related to this project on behalf of the city.

Stryker Instruments is currently constructing a 485,000-square-foot research and development facility on 288 acres of land bounded by Portage Road on the east, Lovers Lane on the west, East Milham Avenue on the north and Ramona Avenue on the south. In conjunction with the construction of the new facility on this parcel, a new public street named "Stryker Way" will run from Portage Road to Lovers Lane. With the construction of the new road, a traffic signal and southbound right-turn lane will be constructed on Portage Road between Ramona Avenue and East Milham Avenue. The City of Portage received a grant through the Michigan Department of Transportation (MDOT) in the amount of \$259,605 for the construction of this new intersection. Engineering services and other costs not covered by the grant will be funded by Stryker Instruments.

MDOT requires that cost-sharing agreements associated with infrastructure projects receiving federal funds be approved by the governing body prior to award of construction contracts. Such is the case with the planned improvement at Portage Road and Stryker Way. In accordance with Act 231 of 1987, the city is responsible for 32.5 percent of the project costs, minus federal participation. The estimated city share is \$124,870, which will be funded by Stryker Instruments.

Therefore, it is recommended that City Council approve Contract #17-5491 between the Michigan Department of Transportation and the City of Portage for the city share of improvements for the traffic signal upgrade work at the Portage Road and Stryker Way intersection, adopt a Resolution authorizing the City Manager to sign Contract #17-5491, and authorize the City Manager to sign all other documents related to this project on behalf of the city.

FUNDING: Funds in the amount of \$124,870 for the city share of the project will be funded by Stryker Instruments.

Attachments: 1. Resolution

CITY OF PORTAGE

Resolution

At a regular meeting of the Council of the City of Portage, Kalamazoo County, Michigan, held at the City Hall in said City on the _____ day of _____, 2017 at 7:30 p.m., local time.

PRESENT: Councilmembers _____

ABSENT: Councilmembers _____

The following resolution was offered by Councilmember _____ and seconded by Councilmember _____.

RESOLVED, the City Council for the City of Portage, does hereby authorize the City Manager, Laurence Shaffer, to sign contract 17-5491 between the City of Portage and the Michigan Department of Transportation. This contract is for the city's share of traffic signal upgrade work at the Portage Road and Stryker Way intersection; including roadway widening work along Portage Road to accommodate a southbound dedicated right turn lane; and all together necessary related work.

ADOPTED: YEAS:

NAYS:

ABSENT:

Adam Herringa, City Clerk

CERTIFICATION

I hereby certify this _____ day of _____, 2017 that the foregoing is a true and complete copy of the original on file in my office.

APPROVED AS TO FORM

DATE 10/19/2017

CITY ATTORNEY

Adam Herringa, City Clerk

TO: Honorable Mayor and City Council

FROM: Laurence Shaffer, City Manager



SUBJECT: City Gateway Signage Replacement

SUPPORTING PERSONNEL: Vicki Georgeau, Director of Community Development

ACTION RECOMMENDED: That City Council approve a \$75,000 budget transfer from the General Fund to the Capital Improvement Fund to construct six (6) new city gateway signs.

The 2017-2027 Capital Improvement Program (CIP) includes a City Sign Design Project to develop sign design concepts and cost estimates to replace various city signs. This project seeks to: 1) better promote the city brand as a *Natural Place to Move*; 2) ensure consistency amongst various city signs; and 3) incorporate timeless elements and design, as well as long-term sign durability. In addition to developing a comprehensive sign design packet and cost estimates, the CIP project includes funding to construct signs for the Eliason Nature Reserve during FY 2017-18.

Attached are the sign design concepts developed by Valley City Signs for the following types of city signs: gateway signs; building identification and primary park identification signs; secondary park identification signs (for smaller neighborhood parks); way finding signs; trailhead signs; and lectern signs (used in various city parks and nature reserves). As shown on the attached "City Sign Replacement - Cost Estimates" table, the replacement of 66 city signs is proposed.

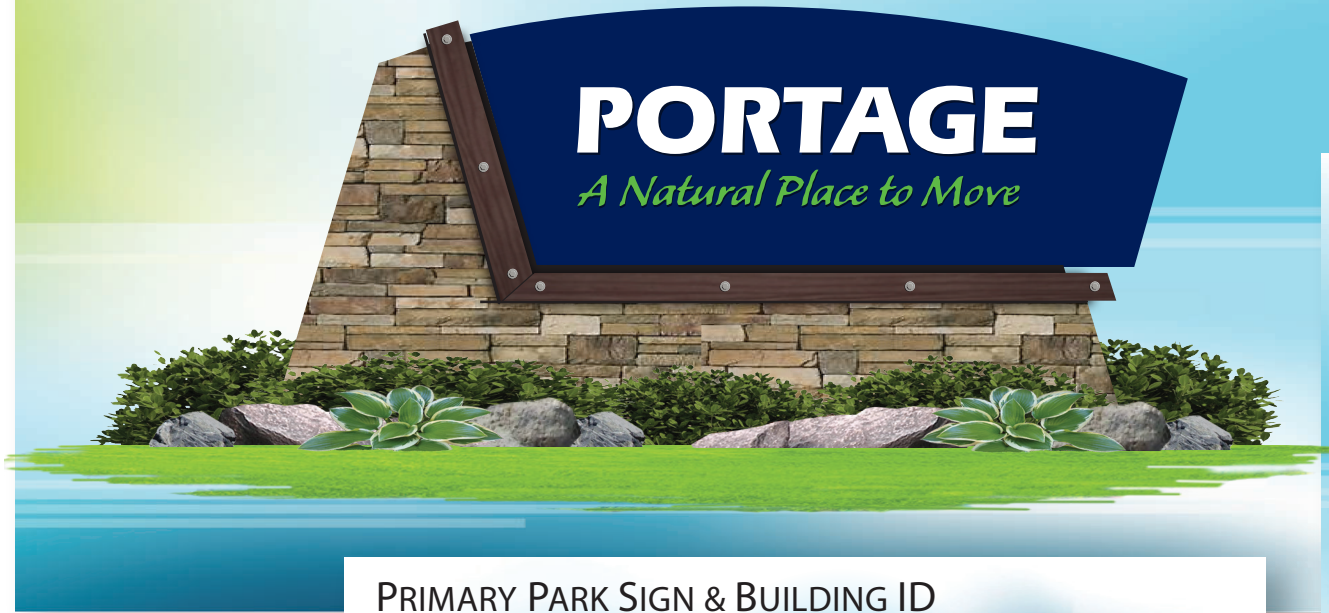
The FY 2017-2018 CIP project has funding to construct two Eliason Nature Reserve trailhead signs (on West Osterhout Avenue and on Portage Industrial Drive/Melody Avenue). After expenses for the sign design and Eliason Nature Reserve signs, \$23,000 remains available to allocate for replacement of the six proposed city gateway signs (which have an estimated total cost of \$98,000). In order to replace the gateway signs this fiscal year, concurrent with the Eliason Nature Reserve signs, a budget transfer of \$75,000 is proposed from the General Fund to the FY 2017-2018 CIP Sign Design Project.

The Finance Department has noted a more than sufficient surplus is available at the end of FY 2016-2017. Therefore, ample funds are available for the proposed budget transfer. With regard to implementation of the remaining sign replacement proposal, a CIP project will be proposed for FY 2018-2019 to replace 58 additional signs for an estimated cost of \$215,000. Based on the above, it is recommended that City Council approve a \$75,000 budget transfer from the General Fund to the Capital Improvement Fund to construct six new city gateway signs.

FUNDING: From the estimated \$1.6 million General Fund surplus, \$75,000 will be transferred to the CIP .

- Attachments:**
1. City Sign Design Renderings
 2. City Sign Replacement - Cost Estimates

GATEWAY SIGN



Color 1

WAYFINDING SIGN



PRIMARY PARK SIGN & BUILDING ID



CONCEPT 1

DRAWING #163,756A-1

TYPICAL SIGN FAMILY

PROJECT: **Portage, City of**

PHOTOSCAN (S): **No**

DESIGNER: **SV**

DATE: **8.26.17**

REVISIONS: **SV**

HOURS: **2.0+6.0**

SALES: **MC**

**VALLEY CITY
SIGN**
An Employee Owned Company

CUSTOMER SIGNATURE

5009 West River Drive · Comstock Park, MI 49321 · Ph.616.784.5711 · Fax.616.784.8280 · www.valleycitysign.com

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SECONDARY PARK SIGN



TRAILHEAD SIGN



LECTERN SIGN



CONCEPT 1

DRAWING #163,756A-1

TYPICAL SIGN FAMILY

PROJECT: **Portage, City of**

PHOTOSCAN (S): **No** DESIGNER: **SV**

DATE: **8.26.17** REVISIONS: **SV**

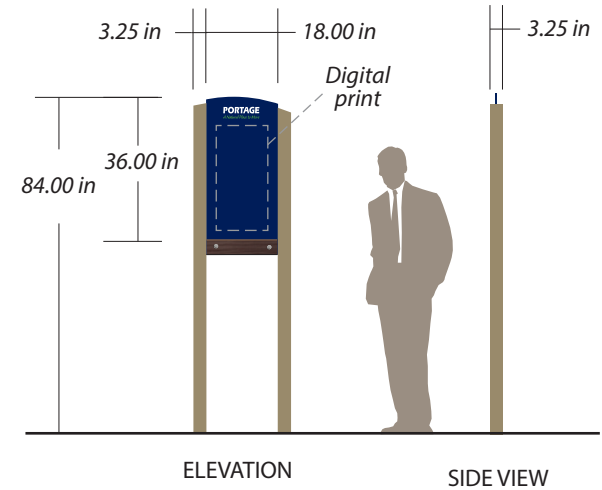
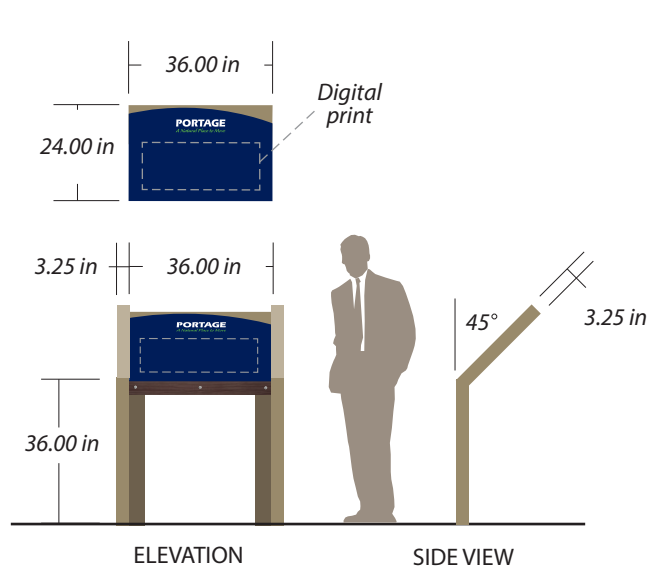
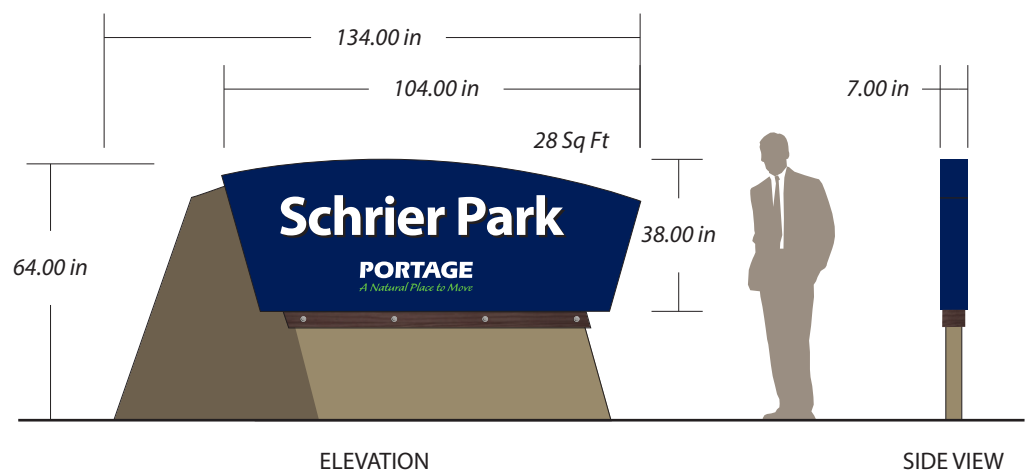
HOURS: **2.0+6.0** SALES: **MC**

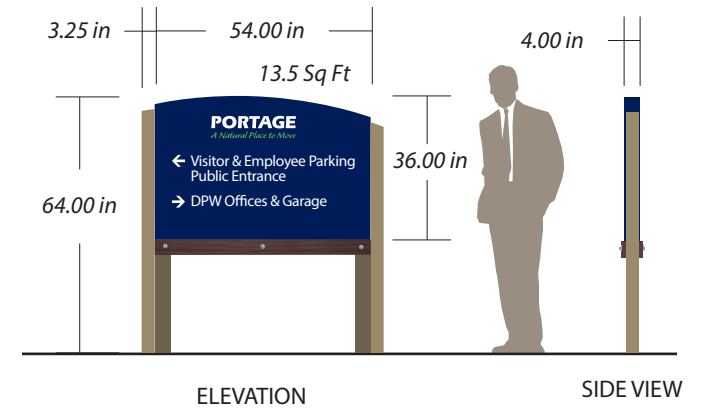
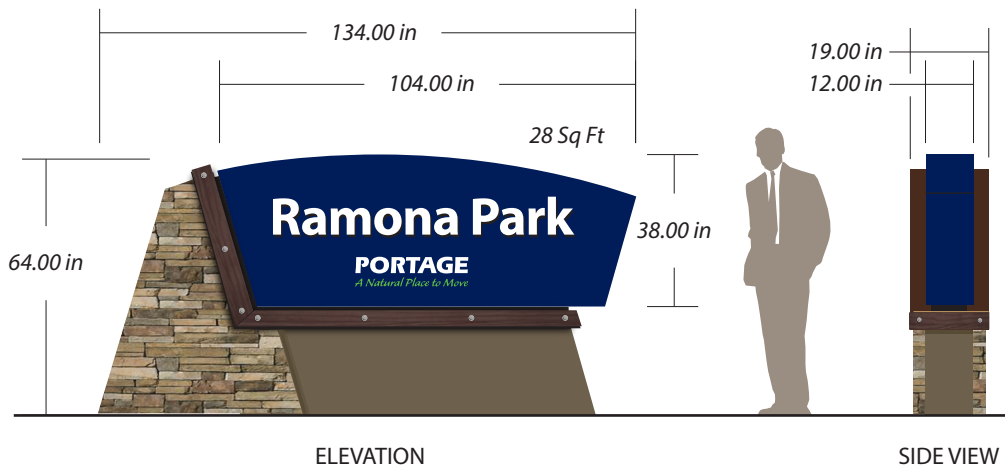
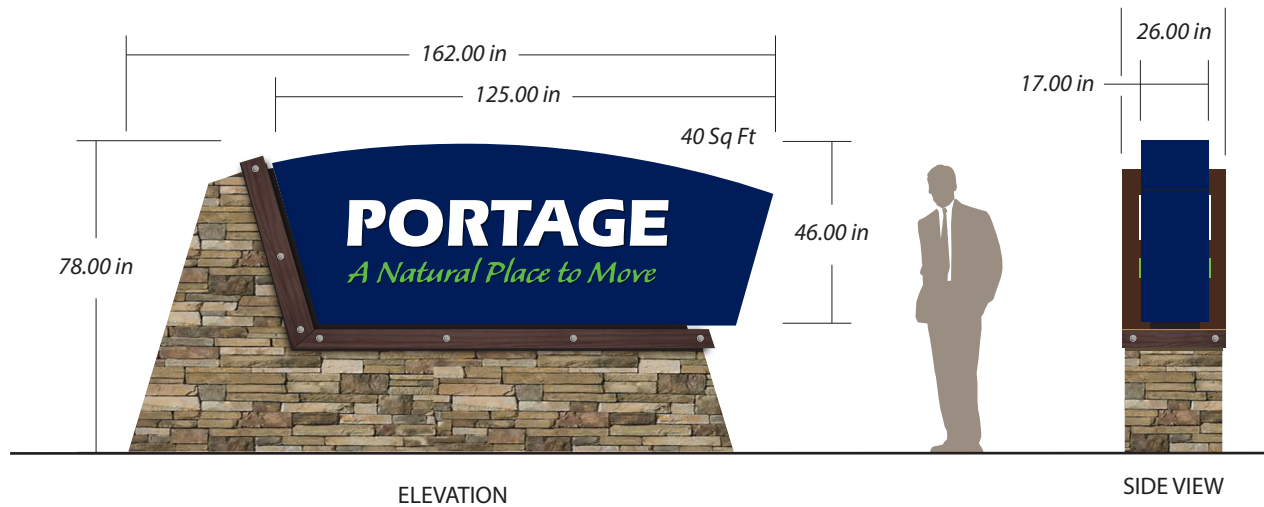
CUSTOMER SIGNATURE

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CONCEPT 1

DRAWING #163,756A-1

TYPICAL SIGN FAMILY
SCALE: 1/4" = 1'-0"

PROJECT: **Portage, City of**

PHOTOSCAN (S): **No** DESIGNER: **SV**

DATE: **8.26.17** REVISIONS: **SV**

HOURS: **2.0+6.0** SALES: **MC**

CUSTOMER SIGNATURE

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CONCEPT 1 DRAWING #163,756A-1

TYPICAL SIGN FAMILY

PROJECT: **Portage, City of**

PHOTOSCAN (S): **No**

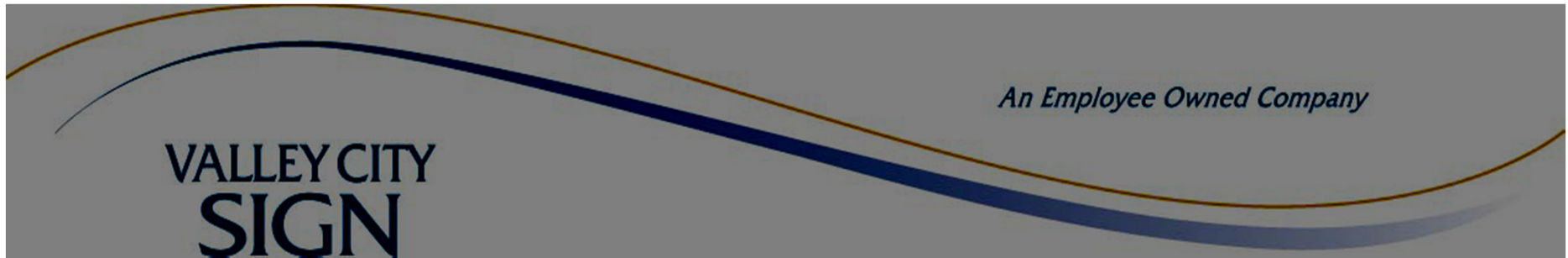
DESIGNER: **SV**

DATE: **8.26.17**

REVISIONS: **SV**

HOURS: **2.0+6.0**

SALES: **MC**



City of Portage Sign Replacement Cost Estimates

Sign Type	Quantity	Unit Cost	Unit Install	Extended Cost	Extended Install	Total for Sign Type	Cost per Sign Type
Gateway Signs ^{1, 2}	6	\$14,176.00	\$1,169.00	\$85,056.00	\$7,014.00	\$92,070.00	\$15,345
Building ID & Park Signs ¹	21	\$6,765.00	\$944.00	\$142,065.00	\$19,824.00	\$161,889.00	\$7,709
Secondary Park Signs	3	\$2,691.00	\$809.00	\$8,073.00	\$2,427.00	\$10,500.00	\$3,500
Wayfinding Signs	6	\$1,572.00	\$494.00	\$9,432.00	\$2,964.00	\$12,396.00	\$2,066
Lecturn Signs with Map	21	\$1,266.00	\$259.00	\$26,586.00	\$5,439.00	\$32,025.00	\$1,525
Trailhead Signs with Map	9	\$1,050.00	\$279.00	\$9,450.00	\$2,511.00	\$11,961.00	\$1,329
TOTALS	66			\$280,662.00	\$40,179.00	\$320,841.00	

¹ Monument Signs to have Stone Base and TrexWood

² Gateway Signs to include 3 external ground lights per sign at estimated cost of \$1,000 per sign = \$98,000 total for 6 gateway signs with external lighting

NOTES:	FY 2017-18 City Sign Design Project budget:					\$50,000
		Minus: Valley City Sign - design contract				\$9,000
		Minus: Estimated cost for 2 Eliason Signs (includes ~\$2,000 demolition of existing sign on Portage Industrial Drive)				<u>\$18,000</u>
		Funding available to apply to Gateway signs				\$23,000
		Funding needed from surplus for Gateway signs				\$75,000
		If budget surplus used for Gateway Signs, total CIP project cost:				\$213,353

TO: Honorable Mayor and City Council

FROM: Laurence Shaffer, City Manager



SUBJECT: Final Plan for Whisper Rock Condominiums (Phase II) - 2275 West Centre

SUPPORTING PERSONNEL: Vicki Georgeau, Director of Community Development

ACTION RECOMMENDED: That City Council approve the Final Plan for Whisper Rock Condominiums (Phase II) at 2275 West Centre Avenue.

A final plan has been submitted by American Village Development II to construct the second phase of the Whisper Rock condominiums within the residential portion of the "Oakland Hills at Centre" Planned Development (PD). The final plan proposes construction of 21 attached residential condominium dwellings and associated site improvements. This second phase represents the sixth development project within the Oakland Hills at Centre Planned Development.

The original Oakland Hills at Centre PD rezoning and tentative plan/narrative were approved by City Council in July 2006 and subsequently amended in January 2016. Consistent with these approvals, access to Phase II will be provided through the existing private street network to Oakland Drive and West Centre Avenue. Continuation of the previously approved internal sidewalk network, along the east side of Flat Rock Ridge, will be constructed within Phase II. Storm water from Phase II will be collected and conveyed to the existing retention pond/water feature located in the center portion of the project area. Buildings will maintain a minimum 25-foot setback from the interior private street a 20-foot setback from the outer perimeter of the property and a 15-foot separation between buildings.

In a report dated October 13, 2017, the Department of Community Development recommended that the Final Plan for Whisper Rock Condominiums (Phase II) at 2275 West Centre Avenue be approved. At the October 19, 2017 meeting, the Planning Commission reviewed and also recommended to City Council approval of the Final Plan.

FUNDING: Not Applicable

Attachments:

1. October 27, 2017 Planning Commission transmittal
2. October 19, 2017 Planning Commission minutes
3. October 19, 2017 Community Development report with attachments

TO: Honorable Mayor and City Council

FROM: Planning Commission

DATE: October 27, 2017

SUBJECT: Final Plan for Whisper Rock Condominiums (Phase II), 2275 West Centre Avenue

During the October 19, 2017 meeting, the Planning Commission reviewed and discussed the Final Plan for the above captioned development project. Mr. Jack Gesmundo, representing AVB II, LLC, was present to support the application and explain the development history of the Oakland Hills at Centre Planned Development. No citizens spoke regarding the proposed project.

The final plan for Whisper Road Condominium (Phase II) has been designed in substantial conformance with the approved tentative plan/narrative for the Oakland Hills at Centre Planned Development. After a brief discussion, a motion was made by Commissioner Patterson, seconded by Commissioner Shoup, to recommend to City Council that the Final Plan for Whisper Rock Condominium (Phase II), 2275 West Centre Avenue, be approved. The motion was unanimously approved 8-0.

Sincerely,


Wayne Stoffer
Chairman 

PLANNING COMMISSION

October 19, 2017

The City of Portage Planning Commission meeting of October 19, 2017 was called to order by Chairman Stoffer at 7:00 p.m. in Council Chambers of Portage City Hall, 7900 South Westnedge Avenue. Two citizens were in attendance.

PLEDGE OF ALLEGIANCE:

Chairman Stoffer led the Commission, staff and citizens in the Pledge of Allegiance.

IN ATTENDANCE:

Christopher Forth, Deputy Director of Planning, Development and Neighborhood Services; and Randy Brown, City Attorney.

ROLL CALL:

Mr. Forth called the roll: Patterson (yes), Shoup (yes), Stoffer (yes), Schimmel (yes), Harrell-Page (yes), Place (yes), Joshi (yes) and Corradini (yes). A motion was made by Commissioner Schimmel, seconded by Commissioner Joshi, to approve the roll excusing Commissioner Bosch. The motion was unanimously approved 8-0. Chairman Stoffer welcomed Meredith Place to the Planning Commission.

APPROVAL OF MINUTES:

Chairman Stoffer referred the Commission to the October 5, 2017 meeting minutes contained in the agenda packet. A motion was made by Commissioner Schimmel, seconded by Commissioner Harrell-Page, to approve the minutes as submitted. The motion was unanimously approved 8-0.

SITE/FINAL PLANS:

1. Final/Site Plan: Whisper Rock Condominiums (Phase II), 2275 West Centre Avenue. Mr. Forth summarized the October 13, 2017 staff report regarding a request by American Village Development II to construct the second phase of the Whisper Rock Condominiums. Mr. Forth indicated that Phase II of Whisper Rock Condominiums would include a total of 21 residential condominium dwellings (nine 2-unit attached buildings and one 3-unit attached building) and associated site improvements along the interior/western portion of the subject property. Mr. Forth discussed access to the site, storm water management, sidewalks and indicated the second phase of the Whisper Rock Condominium Planned Development has been designed in substantial conformance with the January 2016 approved tentative plan.

Jack Gesmundo, American Village Development II, was present to support the application and discuss the development project. After a brief discussion, a motion by Commissioner Patterson, seconded by Commissioner Shoup, to recommend to City Council that the Final/Site Plan for Whisper Rock Condominiums (Phase II), 2275 West Centre Avenue, be approved. The motion was unanimously approved 8-0.

PUBLIC HEARING:

1. Rezoning Application: Rezoning Application #17/18-1, 9444 South Sprinkle Road and 4691 Branch Avenue. Mr. Forth referred the Commission to the October 18, 2017 email communication from Mr. Andrew Rossell contained in the final agenda requesting that the rezoning consideration be adjourned to the November 2, 2017 meeting. Commissioner Schimmel asked Attorney Brown how many adjournments is acceptable. Attorney Brown indicated the Commission should determine if the request for another adjournment is reasonable.

The applicant's representative, Andrew Rossell, AR Engineering, was present to support the request for another adjournment, but only until the November 2, 2017 meeting Mr. Rossell indicated that discussions

among the parties involved with the sale and development of the site were ongoing. Additionally, Mr. Rossell stated he did reach out to the adjacent property only to let them know his client was again requesting an adjournment. Harrell-Page asked who the proposed retail use is. Mr. Rossell stated that information is still confidential.

The public hearing was reconvened by Chairman Stoffer. No citizens spoke regarding the proposed rezoning. A motion was made by Commissioner Patterson, seconded by Commissioner Harrell-Page, to adjourn the public hearing for Rezoning Application #17/18-1, 9444 South Sprinkle Road and 4691 Branch Avenue, to the November 2, 2017 meeting at the request of the applicant. The motion was unanimously approved 8-0.

NEW BUSINESS:

None

OLD BUSINESS:

None.

STATEMENT OF CITIZENS/COMMISSIONERS:

Commissioner Shoup and Joshi stated that they will not be present at November, 2, 2017 meeting.

ADJOURNMENT:

There being no further business to come before the Commission, the meeting was adjourned at 7:30 p.m.

Respectfully submitted,

Christopher T. Forth, AICP
Deputy Director of Planning, Development and Neighborhood Services

TO: Planning Commission**DATE:** October 13, 2017**FROM:** Vicki Georgeau, ^hDirector of Community Development**SUBJECT:** Final Plan for Whisper Rock Condominiums (Phase II), 2275 West Centre Avenue**I. INTRODUCTION:**

A final plan has been submitted by American Village Development II to construct the second phase of the Whisper Rock condominiums within the residential portion of the Oakland Hills at Centre Planned Development project. Phase II of the Whisper Rock Condominiums will include construction of 21 residential condominium dwellings (nine 2-unit attached buildings and one 3-unit attached building) and associated site improvements along the interior/western portion of the subject property. The 47.6 acre Oakland Hills at Centre Planned Development is situated along the south side of West Centre Avenue, west of Oakland Drive, and is zoned PD, planned development. Whisper Rock (Phase II) represents the sixth development project within the overall Oakland Hills at Centre Planned Development.

II. OAKLAND HILLS AT CENTRE PLANNED DEVELOPMENT:

The following is a brief history of the Oakland Hills at Centre Planned Development:

July 2006: City Council approved a zoning change from OTR, office technology and research to PD, planned development along with the tentative plan for the Oakland Hills at Centre Planned Development project. The tentative plan included a mix of office and attached residential development on an approximate 47.6 acre tract of land.

February 2009: City Council approved an extension to the previously approved tentative plan with minor changes including updated dates for each phase of the development and a slight boundary line/acreage change between the office and residential portions of the development project. City Council also approved the final plan for Cole Galvas, 2401 West Centre Avenue, which was the first development project.

June 2012: City Council approved a tentative plan amendment that included the addition of a wireless telecommunications tower within the office portion of the PD along Oakland Drive, revisions to the residential portion including a reduction in the total number of dwelling units from 116 to 107, revisions to the layout of the office portion of the PD and an updated phasing timeline.

August 2012: City Council approved the final plan for the Verizon wireless telecommunications tower along Oakland Drive.

October 2014: City Council approved the final plan for the 1st Source Bank along West Centre Avenue.

January 2016: City Council approved a tentative plan amendment that included another reduction in the number of residential dwelling units from 107 to between 85 and 100; a reduction in the perimeter setback from 40 feet to 25 feet; and a reduction in the setback between buildings from 20 feet to 15 feet. The tentative plan was also updated to include previous development projects.

February 2016: City Council approved the final plan for Whisper Rock Condominiums (Phase I) involving construction of 45 residential condominium dwellings (18 2-unit buildings, three 3-unit buildings) and associated site improvements. Construction of condominium dwellings within this phase is ongoing.

August 2017: City Council approved the final plan for Mercantile Bank along West Centre Avenue. Construction of the bank project is ongoing.

III. FINAL PLAN

The final plan for Whisper Rock Condominiums (Phase II) has been designed in substantial conformance with the approved 2016 amended tentative plan (see attached). Access to Phase II will be provided through the existing private street (Whisper Rock Trail) which was constructed from Oakland Drive with Phase I, along with the existing West Centre Avenue full service driveway that is shared with Hospice facility and the other Oakland Hills at Centre development projects along West Centre Avenue. A shared/cross access agreement with the adjacent property owners involving the West Centre Avenue driveway has been executed and recorded with the Kalamazoo County Register of Deeds.

Storm water from Whisper Rock Condominiums (Phase II) will be collected and conveyed to the existing retention basin/water feature located in the center portion of the project area, which was constructed with Phase I. An overflow storm discharge to the adjacent wetland area to the south was also reviewed and approved by the Michigan Department of Environmental Quality (MDEQ) and constructed with Phase I of the residential condominiums. Continuation of the previously approved internal sidewalk network, along the east side of Flat Rock Ridge, will be constructed within Phase II. Consistent with the approved tentative plan, condominium dwellings will maintain a minimum 25-foot setback from the interior private street, 20-foot setback from the outer perimeter of the property, and 15-foot separation between buildings. Finally, municipal water and sanitary sewer will continue to serve the proposed development.

IV. RECOMMENDATION:

The final plan has been reviewed by the City Administrative departments. Staff advises that the Planning Commission recommend to City Council that the final plan for Whisper Rock Condominiums (Phase II), 2275 West Centre Avenue, be approved.

Attachments: Final Plan Sheets
Approved 2016 Tentative Plan for the Oakland Hills at Centre Planned Developmentg

Construction Documents

OWNER

AMERICAN VILLAGE DEVELOPMENT II, LLC
4200 W. CENTRE AVENUE
PORTAGE, MI 49024
269.329.4800

CONSTRUCTION MANAGER

avb
BUILD SOMETHING BETTER
AVB CONSTRUCTION, INC.
4200 W. CENTRE AVENUE
PORTAGE, MI 49024
269.329.2022

PLANS PREPARED BY:

HS
hurley & stewart
hurley & stewart, llc
2800 south 11th street
kalamazoo, michigan 49009
269.552.4960 fax 552.4961
www.hurleystewart.com

PROPERTY DESCRIPTION

ALL THAT PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 SOUTH, RANGE 11 WEST, CITY OF PORTAGE, KALAMAZOO COUNTY, MICHIGAN DESCRIBED AS COMMENCING AT THE CENTER OF SAID SECTION, THENCE S89°02'20"E ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 20 A DISTANCE OF 664.34 FEET, THENCE CONTINUING S89°02'20"E ALONG SAID EAST-WEST 1/4 LINE A DISTANCE OF 661.78 FEET TO THE EAST 1/8TH LINE, THENCE N00°40'20"E ALONG SAID 1/8TH LINE A DISTANCE OF 1636.68 FEET TO THE POINT OF BEGINNING, THENCE N88°52'26"W A DISTANCE OF 338.00 FEET, THENCE S00°40'55"W A DISTANCE OF 384.00 FEET, THENCE N88°52'26"W A DISTANCE OF 324.39 FEET, THENCE S00°39'18"W A DISTANCE OF 117.94 FEET, THENCE N88°54'44"W A DISTANCE OF 203.93 FEET, THENCE N84°52'23"W A DISTANCE OF 167.19 FEET, THENCE NORTHWESTERLY A DISTANCE OF 69.19 FEET, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 215.00 FEET, A CENTRAL ANGLE OF 18°20'23", AND A CHORD BEARING N88°41'41"W, 68.90 FEET, THENCE S31°57'24"W A DISTANCE OF 5.00 FEET, THENCE N58°47'36"W A DISTANCE OF 5.00 FEET, THENCE SOUTHWESTERLY A DISTANCE OF 19.25 FEET, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 13.00 FEET, A CENTRAL ANGLE OF 84°51'29", AND A CHORD BEARING S79°25'44"W, 17.54 FEET, THENCE N47°53'38"W A DISTANCE OF 35.11 FEET, THENCE NORTHWESTERLY A DISTANCE OF 25.06 FEET, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 18.00 FEET, A CENTRAL ANGLE OF 79°40'52", AND A CHORD BEARING N01°47'49"W, 23.08 FEET, THENCE S75°22'04"W A DISTANCE OF 166.90 FEET, THENCE S81°19'09"W A DISTANCE OF 126.27 FEET TO A POINT ON THE NORTH-SOUTH 1/4 LINE OF SAID SECTION, THENCE N04°10'00"E ALONG SAID NORTH-SOUTH 1/4 LINE A DISTANCE OF 775.12 FEET, THENCE S89°03'35"E A DISTANCE OF 165.49 FEET, THENCE N00°42'07"E A DISTANCE OF 32.93 FEET, THENCE S88°52'28"E A DISTANCE OF 340.01 FEET, THENCE N00°42'07"E A DISTANCE OF 35.89 FEET, THENCE S88°52'36"E A DISTANCE OF 188.63 FEET, THENCE SOUTHEASTERLY A DISTANCE OF 512.61 FEET, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 89°33'23", AND A CHORD BEARING S44°09'46"E, 281.75 FEET, THENCE S88°52'28"E A DISTANCE OF 100.47 FEET, THENCE S36°27'16"E A DISTANCE OF 88.57 FEET, THENCE S01°07'32"W A DISTANCE OF 49.81 FEET, THENCE S88°52'34"E A DISTANCE OF 279.91 FEET TO THE EAST 1/8TH LINE, THENCE S00°40'55"W ALONG SAID 1/8TH LINE A DISTANCE OF 210.00 FEET TO THE POINT OF BEGINNING, DESCRIBED PARCEL CONTAINS 874,424 SQUARE FEET OR 20.07 ACRES.

INCLUDING ALL EASEMENTS OF INGRESS AND EGRESS TO AND FROM WEST CENTRE AVENUE BENEFITTING THE ABOVE-DESCRIBED PREMISES AND DESCRIBED IN THE FOLLOWING INSTRUMENTS: RECIPROCAL EASEMENT AGREEMENT RECORDED IN LIBER 1874, PAGE 157 AND AMENDED BY AMENDMENT TO RECIPROCAL EASEMENT AGREEMENT RECORDED IN DOCUMENT NO. 2009-035965, KALAMAZOO COUNTY RECORDS; EASEMENT AGREEMENT PRIVATE DRIVEWAY RECORDED IN DOCUMENT NO. 2009-016289, KALAMAZOO COUNTY RECORDS; REVISED EASEMENT AGREEMENT PRIVATE DRIVEWAY RECORDED IN DOCUMENT NO. 2014-037291, KALAMAZOO COUNTY RECORDS; AND 2009-016290 AND AMENDED BY AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN DOCUMENT NO. 2010-024524, KALAMAZOO COUNTY RECORDS.

UTILITY CONTACTS:

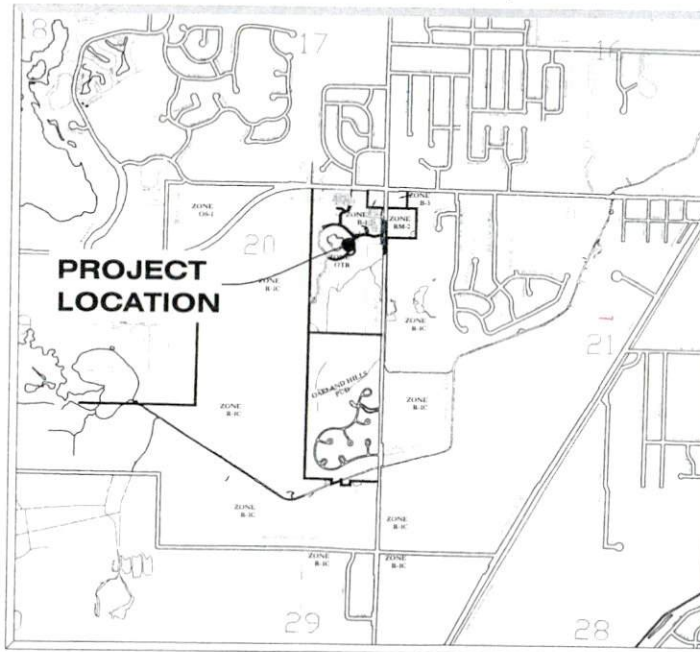
CONSUMERS ENERGY CO. MIKE SOKOLOV 2500 E. CORK STREET KALAMAZOO, MI 49001 269.337.2246	ELECTRIC
CONSUMERS ENERGY CO. KYLE GAY 2500 E. CORK STREET KALAMAZOO, MI 49001 269.337.2366	GAS
CHARTER COMMUNICATIONS MARK BURKE 4176 COMMERCIAL AVE. PORTAGE, MI 49002 269.217.8152	CABLE TELEVISION
AT&T 7000 SHIBBAYAMA 2919 MILLCREEK ST. KALAMAZOO, MI 49001 269.384.4436	TELEPHONE
CITY OF PORTAGE DEPARTMENT OF PUBLIC SERVICES BOB MILLER KALAMAZOO, MI 49001 269.324.9285	WATER/SANITARY

Whisper Rock Phase II

A PLANNED DEVELOPMENT SITE

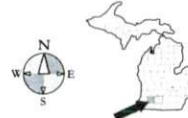
CONDOMINIUM PROJECT

CITY OF PORTAGE
KALAMAZOO COUNTY, MI



SITE LOCATION MAP

SCALE: 1" = 500'



DRAWING INDEX

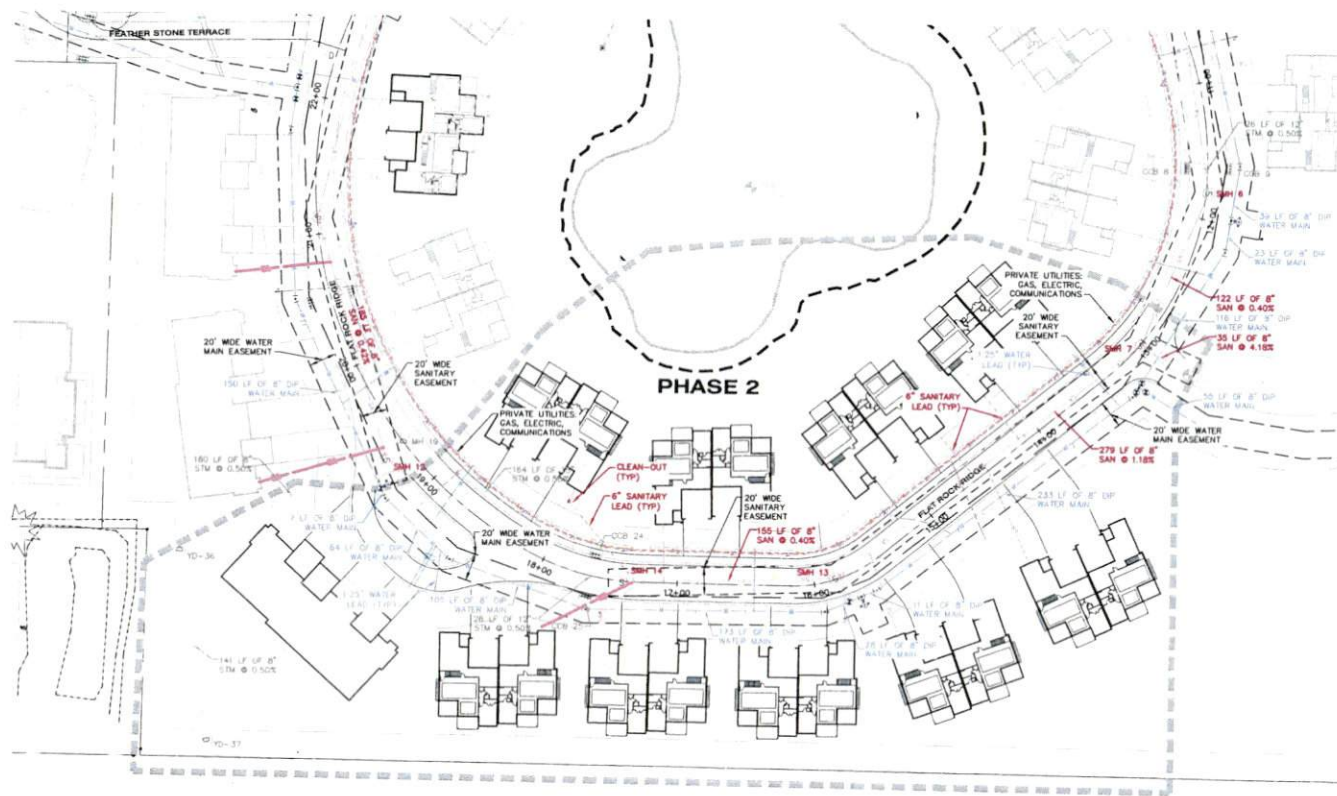
SHT #	DESCRIPTION
C-0	TITLE SHEET
C-1	EXISTING CONDITIONS
C-2	SITE LAYOUT PLAN
C-3	DETAILS



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. IT SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING

ISSUED FOR:
SITE PLAN RE-SUBMITTAL
10/11/17

WHISPER ROCK PHASE II, ISSUED FOR SITE PLAN RE-SUBMITTAL, 10/12/17



- ### REMOVAL NOTES
1. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DMP LINE.
 2. SAWCUT ALL CURBS, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
 3. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
 4. COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY CITY OF PORTAGE. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
 5. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
 6. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
 7. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
 8. REVIEW CLEARING LIMITS WITH OWNER PRIOR TO COMMENCING WORK. PRESERVE TREES WHERE INDICATED.
 9. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REVISION MAY OCCUR.
 10. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

NOTE: NO REMOVALS REQUIRED THIS PHASE

STORM SEWER STRUCTURE SCHEDULE

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CCB 8	865.99	4'	7065	12" S 862.55	12" E 862.55
CCB 9	865.99	2'	7065		12" N 862.68
CCB 24	869.85	4'	7065	12" W 866.20	15" NE 866.20
CCB 25	869.84	2'	7065		12" E 866.33
MH 19	873.08	5'	1045	15" SW 865.38 12" E 870.06 8" NW 859.98	15" SE 859.98
YD-36	865.00	2'	Standard	8" W 860.88	8" SE 860.88
YD-37	865.59	2'	Standard		8" E 861.59

SANITARY SEWER STRUCTURE SCHEDULE

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
SMH 6	869.31	4'	1045	8" NW 853.33 8" E 853.23	8" E 853.23
SMH 7	871.75	4'	1045	8" SW 853.91 8" NW 856.00	8" SE 853.91
SMH 12	872.87	4'	1045		8" E 861.27
SMH 13	874.06	4'	1045	8" N 859.39	8" SE 859.29
SMH 14	870.49	4'	1045		8" S 860.01



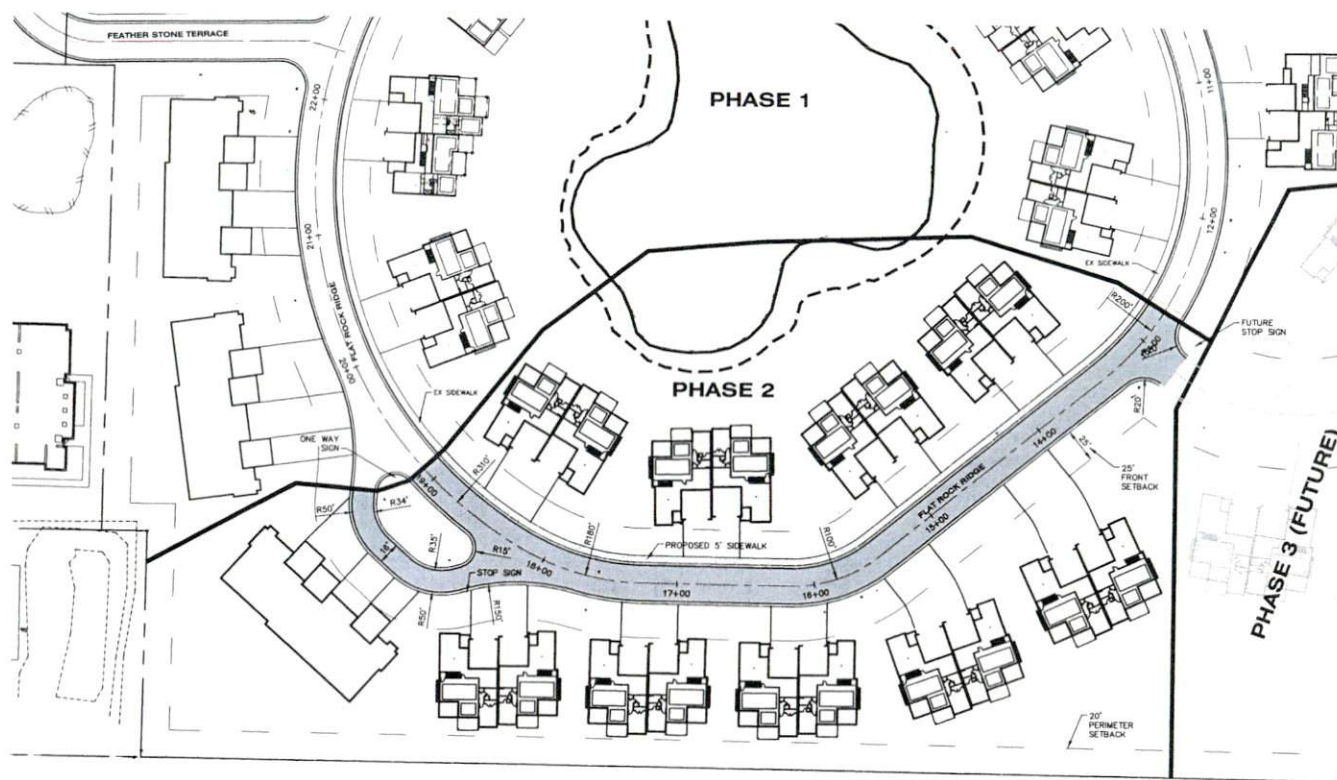
ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING

**EXISTING CONDITIONS
WHISPER ROCK PHASE II
AVB**

Sheet Title
Project
Client
10/11/17
Sheet
C-1

hurley & stewart, llc
2900 south 11th street
Kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleyandstewart.com

hurley & stewart
09/28/17
10/12/17
1 SITE PLAN SUBMITTAL
2 SITE PLAN RE-SUBMITTAL
CONFIDENTIAL © 2017 Hurley & Stewart, LLC



NOTES

1. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
2. PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
3. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE.
4. SEE LANDSCAPE PLANS FOR HARDSCAPE, DETAILED GRADING IN LANDSCAPED AREAS AND SIGNAGE.
5. PLACE FIRE HYDRANT AND "NO PARKING THIS SIDE OF STREET" SIGNS AT EACH HYDRANT LOCATION AND A "NO PARKING THIS SIDE OF STREET" SIGN MIDWAY BETWEEN HYDRANTS.
6. EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2012 EDITION, AND CITY OF PORTAGE STANDARD SPECIFICATIONS.
7. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REVISION MAY OCCUR.
8. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
9. ALL EXTERIOR CONCRETE SHALL BE MOOT GRADE P1 (3500PSI), AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
10. MINIMUM BUILDING TO BUILDING SEPARATION SHALL BE 20 FEET.
11. MINIMUM SETBACK FROM INTERIOR ROADS SHALL BE 25 FEET.
12. SIGNAGE SHALL BE BY OWNER AND SHALL MATCH PHASE I SIGNAGE.

LEGEND

- HMA PAVEMENT THIS PHASE
- BASE COURSE THIS PHASE
- CONCRETE SIDEWALK THIS PHASE
- KORC ROLLED CURB AND GUTTER THIS PHASE

SITE STATISTICS

- PHASE 1**
14.63 ACRES
45 TOTAL UNITS = 2.78 UNITS PER ACRE
- PHASE 2**
5.36 ACRES
21 TOTAL UNITS = 3.92 UNITS PER ACRE
- PHASE 3**
27.64 ACRES
28 TOTAL UNITS = 1.01 UNITS PER ACRE

PARKING

EACH UNIT PROVIDED WITH 2 CAR GARAGE. VISITOR PARKING PROVIDED IN UNIT DRIVEWAYS AND IN VISITOR SPACES.

- PHASE I = 13
- PHASE II = 2
- PHASE III = 5

SETBACKS

- SETBACKS = 20' ON ALL SIDES OF PROPERTY
- = 25' FROM INTERIOR ROADS
- = 15' SEPARATION BETWEEN BUILDINGS



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FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING

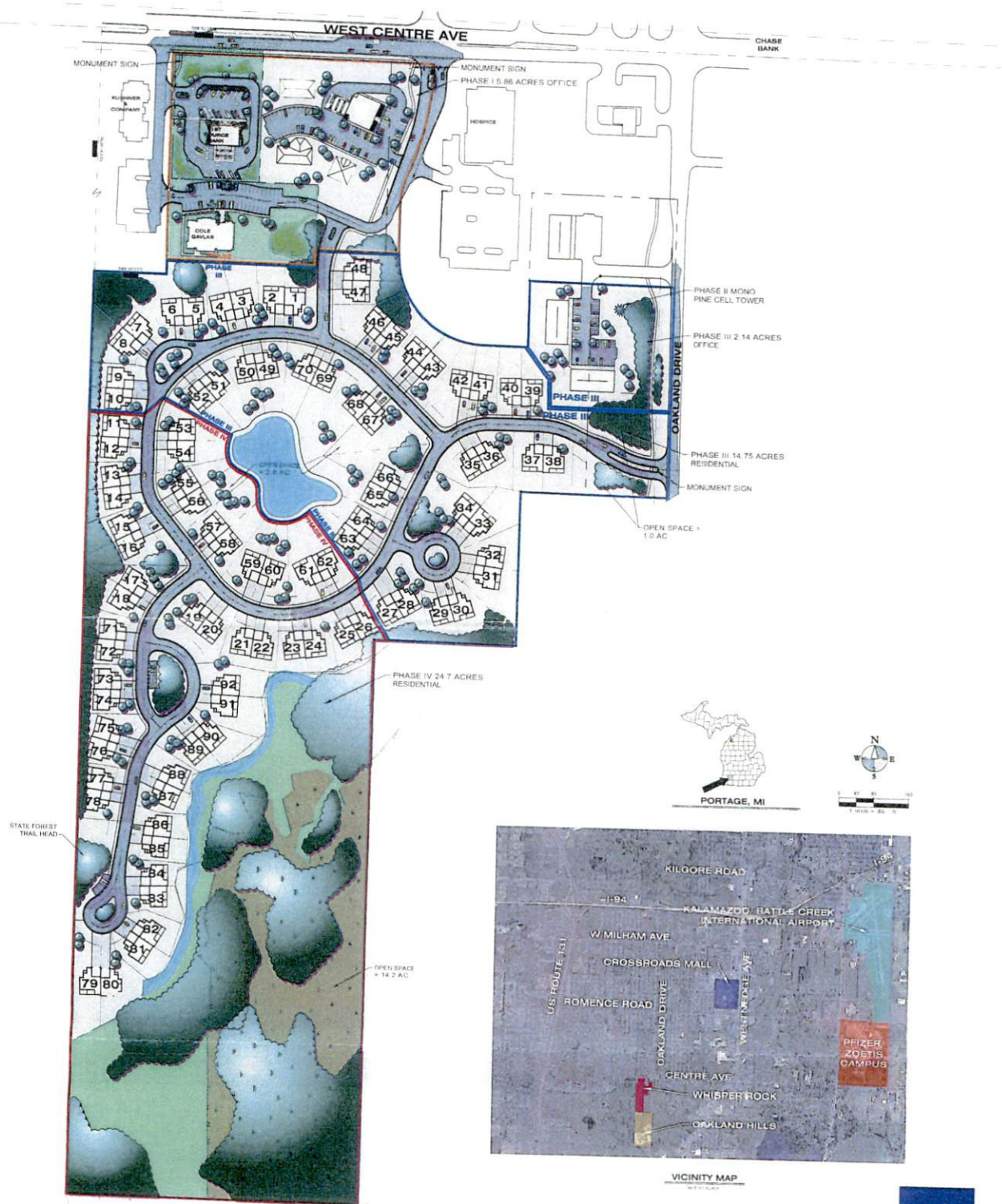
SITE LAYOUT PLAN WHISPER ROCK PHASE II AVB

Sheet Title
Project
Client
10/11/17
Sheet
C-2

hurley & stewart, llc
2800 south 11th street
Kalamazoo, michigan 49009
phone: 269 480 4800 fax: 269 552 4901
www.hurleyandstewart.com



1. SITE PLAN SUBMITTAL
2. SITE PLAN RE-SUBMITTAL
09/28/17
10/12/17
COURTESY: E. J. BURRY & TRANSMIT, LLC



MIXED USE AND RESIDENTIAL DEVELOPMENT **WHISPER ROCK**

avb

BUILD SOMETHING BETTER

4200 WEST CENTRE AVENUE

PORTAGE, MI 49004

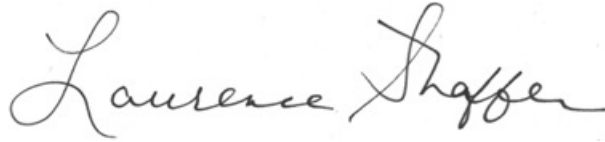
(269)325-2022

OCTOBER 27, 2015

January 2016 Approved Tentative Plan

TO: Honorable Mayor and City Council

FROM: Laurence Shaffer, City Manager



SUBJECT: Final Preliminary Plat (engineering plans) for The Oaks (Phase I), - 4800 Bishop Avenue

SUPPORTING PERSONNEL: Vicki Georgeau, Director of Community Development

ACTION RECOMMENDED: That City Council approve the Final Preliminary Plat (engineering plans) for The Oaks (Phase I) at 4800 Bishop Avenue.

On May 9, 2017, City Council approved the Preliminary Plat of The Oaks (Phase I) at 4800 Bishop Avenue. Landmark Development Partners, LLC is now requesting approval of the Final Preliminary Plat (engineering plans) for the 20-lot subdivision that involves the following public improvements:

1. The Oaks (Phase I) will include an easterly extension of Bermuda Street (Bermuda Trail/Oak Way) and construction of a new public street cul-de-sac (Acorn Circle). The plat design provides for the future extension of Oak Way to the vacant property to the south. A landscaped boulevard island at the entrance to the subdivision within Bermuda Trail will also be constructed with the plat. The landscaped boulevard island will be maintained by The Oaks Homeowners Association. Related documents will be provided to the city for review and approval prior to Final Plat approval.
2. Four-foot-wide concrete sidewalks will be installed along both sides of each new public street (Bermuda Trail, Oak Way and Acorn Circle) and along the Jamaica Lane frontage of Lot 1. The proposed sidewalk along the Jamaica Lane frontage of Lot 1 will be extended north to a point where it will connect to a proposed wood chip nature trail, to be constructed within the approximate five-acre wooded/wetland parcel situated north of the proposed plat. The nature trail will be owned and maintained by The Oaks Homeowners Association. Related documents will be provided to the city for review and approval prior to Final Plat approval.
3. The sanitary sewer system will consist of 8-inch diameter sewer mains and individual laterals constructed to serve each lot in accordance with City of Portage requirements. The proposed system will connect to the existing sanitary sewer main located within Jamaica Lane, at the intersection of proposed Bermuda Trail and Jamaica Lane.
4. The water system will consist of 8-inch diameter ductile iron mains and 1 1/4-inch services to each individual lot. The proposed system will connect to the existing water main located along the east side of Jamaica Lane, near the intersection of proposed Bermuda Trail and Jamaica Lane.
5. Based on extensive discussions with city staff and in a proactive effort to address concerns regarding high groundwater levels in this area of the city, the applicant has allocated significant time and resources into investigation, monitoring and design of the proposed storm water system. A detailed overview of the storm water management strategy for the development is

provided in an attached communication dated October 24, 2017 from the developer's engineer, Ingersoll, Watson & McMachen. In summary, the developer will relocate the existing storm water retention basin, currently located within the middle of the property to the northeastern portion of the subdivision, between Lots 3 and 4, adjacent the existing wetland area. The existing storm water basin will then be eliminated and redeveloped for future home sites. Storm water from Phase I of The Oaks will be collected and conveyed to the relocated storm water detention basin, which will also include a controlled rate discharge to the adjacent wetland area.

Relocating the storm water detention basin and directing storm water runoff to the northeastern portion of the subdivision, along with other design elements outlined in the engineers communication, represent a more efficient storm water design. These efforts are expected to reduce the risk of basement flooding to future homes within The Oaks subdivision and existing homes along Jamaica Lane. The recent installation of a new adjacent culvert system under Bishop Avenue by the Kalamazoo County Drain Commissioner will also help regulate ground water levels in the area, while directing storm water runoff/surface water to the north, across Bishop Avenue. The relocated storm water detention basin will be owned and maintained by the city with an easement provided by The Oaks Homeowners Association for the controlled rate discharge to the adjacent wetland area to the north. Related documents will be provided to the city for review and approval prior to Final Plat approval.

The departments of Community Development, Public Safety, and Transportation & Utilities have reviewed the construction drawings and determined that the plans are in conformance with city requirements. Based on the administrative review, it is recommended that Final Preliminary Plat approval be granted by City Council. This action will allow the developer to proceed with the construction of the infrastructure improvements. When construction is complete, the developer will request Final Plat approval from City Council and acceptance of the water and sanitary sewer mains as public facilities.

FUNDING: Not Applicable

Attachments:

1. October 24, 2017 communication from Ingersoll, Watson & McMachen
2. Final Preliminary Plat (engineering plans)

Ingersoll, Watson & McMachen, Inc.

CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS

October 24, 2017

City of Portage
7900 South Westnedge Avenue
Portage, MI 49002
ATTN: Chris Forth, AICP and Mike West, AICP

RECEIVED
OCT 25 2017
COMMUNITY DEVELOPMENT

RE: Storm Drainage for "The Oaks" Proposed Subdivision

Dear Chris and Mike,

This letter is written with regards to storm drainage for "The Oaks" proposed subdivision located east of Jamaica Lane and south of Bishop Avenue in the Northeast quarter of Section 13, City of Portage. Previously, Portage City Council granted Tentative Approval of the Preliminary Plat for "The Oaks" which allowed the detailed engineering to proceed. Our intent was to design a storm water disposal system that would, as much as possible, guarantee that new houses on site would not have any issues with wet basements, and also help alleviate existing issues with wet basements for the existing houses along Jamaica Lane to the west.

Initially the existing retention basin was going to be expanded, lined, and converted to a detention basin with a controlled discharge toward the existing wetlands at the north end of the site. After further consideration the proposed detention basin was relocated to the northeastern portion of the proposed subdivision next to the existing wetlands; the storm water to the existing retention basin rerouted to the proposed detention basin; and the existing retention basin to be abandoned and filled in. With the detention basin located next to the wetlands in which the basin is to discharge to, lining the basin no longer is necessary. The rate of discharge to the wetlands and storm water storage volume will be in accordance with the City of Portage Storm Water Design Criteria Manual.

Locating the detention basin at the north end of the subdivision allows for a more efficient basin design. Observed groundwater elevations on the site indicate the groundwater at the north end of the proposed subdivision is approximately 0.7 feet lower than the groundwater in the middle portion of the site. The recently installed culvert under Bishop Avenue should also help lower the groundwater elevation south of Bishop Avenue. Information regarding this new culvert is shown on the Cover Sheet of the Construction Plans. The lower groundwater elevation allows the required storage volume of the detention basin to start at a lower elevation. The vertical elevation necessary to convey the water flow from the existing retention basin location to the emergency overflow spillway location next to the wetlands can now be used for storage.

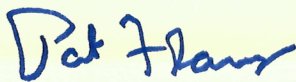
In addition to providing the proposed detention basin as indicated above, the means of handling storm water from the proposed subdivision are outlined below:

1. The Lots/yards will be graded such that the middle portion of the house/yard drains to the street and into the storm sewer collection system.
2. The proposed storm sewer collection system will be comprised of solid wall structures and pipe with water tight joints.
3. The small area in the northwest corner of the proposed subdivision that connects to Jamaica Lane is too low to drain to the proposed detention basin so it will be drained to a proposed infiltration trench that overflows to the existing wetlands north of the proposed subdivision. The proposed infiltration trench will be located outside the street right of way just east of Jamaica Lane.
4. Basement floor elevations will be set above high ground water elevation, and the required radon venting system in each house will be plumbed to collect and pump groundwater in case groundwater levels ever get significantly higher than expected.
5. Each lot will be responsible for retaining and infiltrating into the ground its rear yard drainage. With phase one of "The Oaks" and with future phases, certain rear yard drainage improvements will be incorporated (i.e. infiltration trench, drainage swale, etc.). Within phase one, lots adjacent to the "Holiday Village East" subdivision to the west, a shallow drainage swale will constructed within the setback area of the rear yard to drain water away from the rear yards.

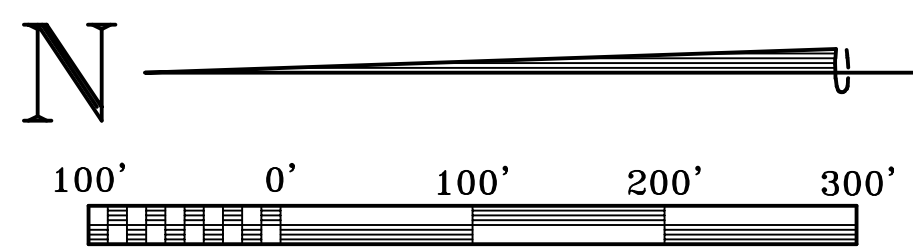
The proposed method of handling storm water run-off from the "The Oaks" subdivision and the existing storm water retention basin as outlined above will eliminate any groundwater mounding created by the existing storm water retention basin, and should also have very minimal or no adverse affect on the surrounding properties.

Thank you for your consideration of this matter. Please feel free to contact the owner or this office to discuss.

Sincerely,



Patrick D. Flanagan, P.E.



CONSTRUCTION PLANS for PHASE ONE of 'THE OAKS'

(NOTE: THESE CONSTRUCTION PLANS ARE ALSO KNOWN AS THE 'FINAL PRELIMINARY PLAT')

50' WIDE PARCEL
TO BE DEEDED TO
THE CITY OF PORTAGE
FOR RIGHT-OF-WAY
PURPOSES (DURING
FINAL PLAT STAGE)

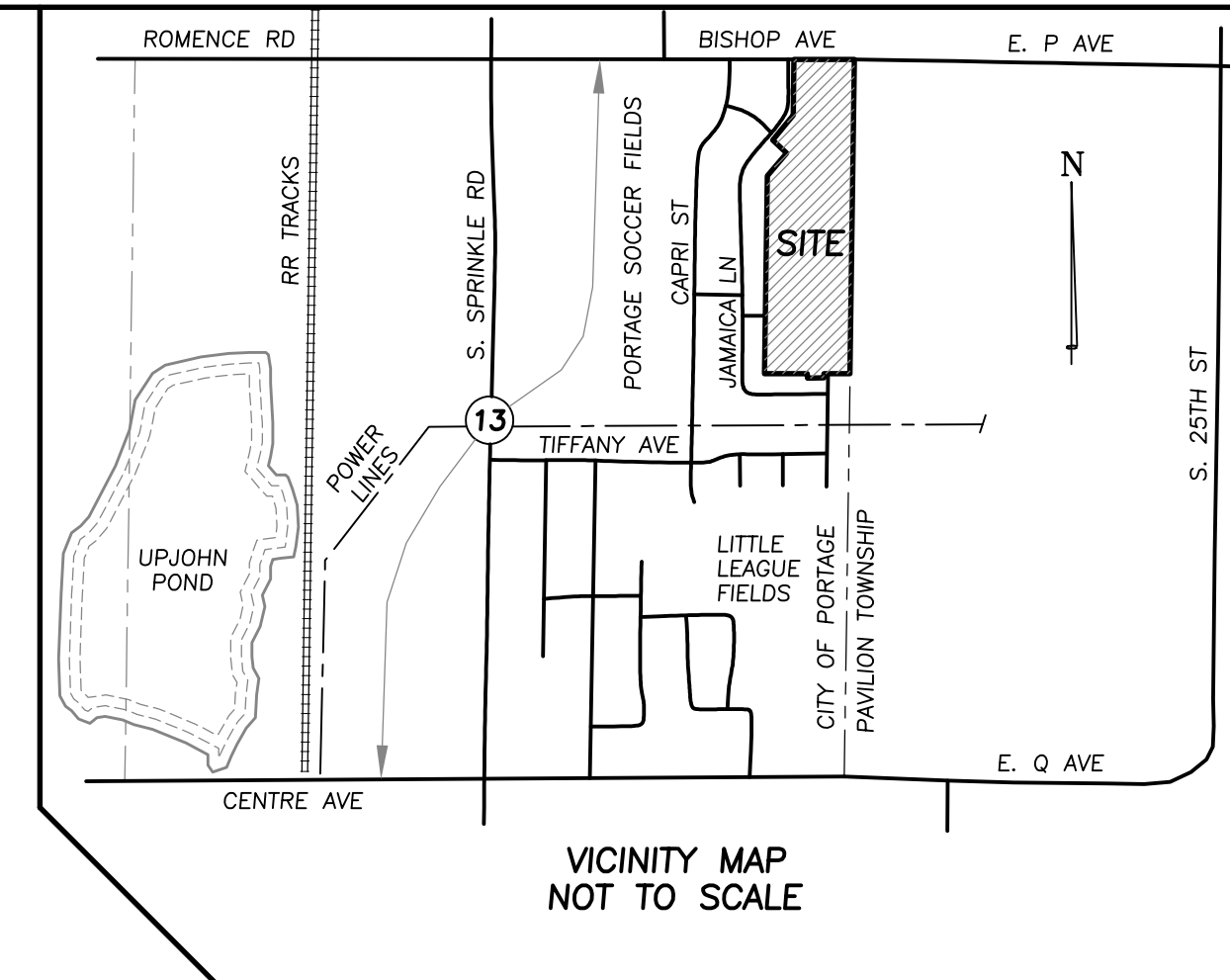
NOTE: NORTHERLY PARCEL NOT INCLUDED
IN PROPOSED SUBDIVISION. PARCEL TO
BE DEEDED TO THE OAKS HOME OWNERS
ASSOCIATION. PARCEL SHALL BE FOR
PASSIVE RECREATION.

H.O.A. 'ARTICLES OF INCORPORATION'
AND BYLAWS SHALL BE PROVIDED
TO THE CITY OF PORTAGE.

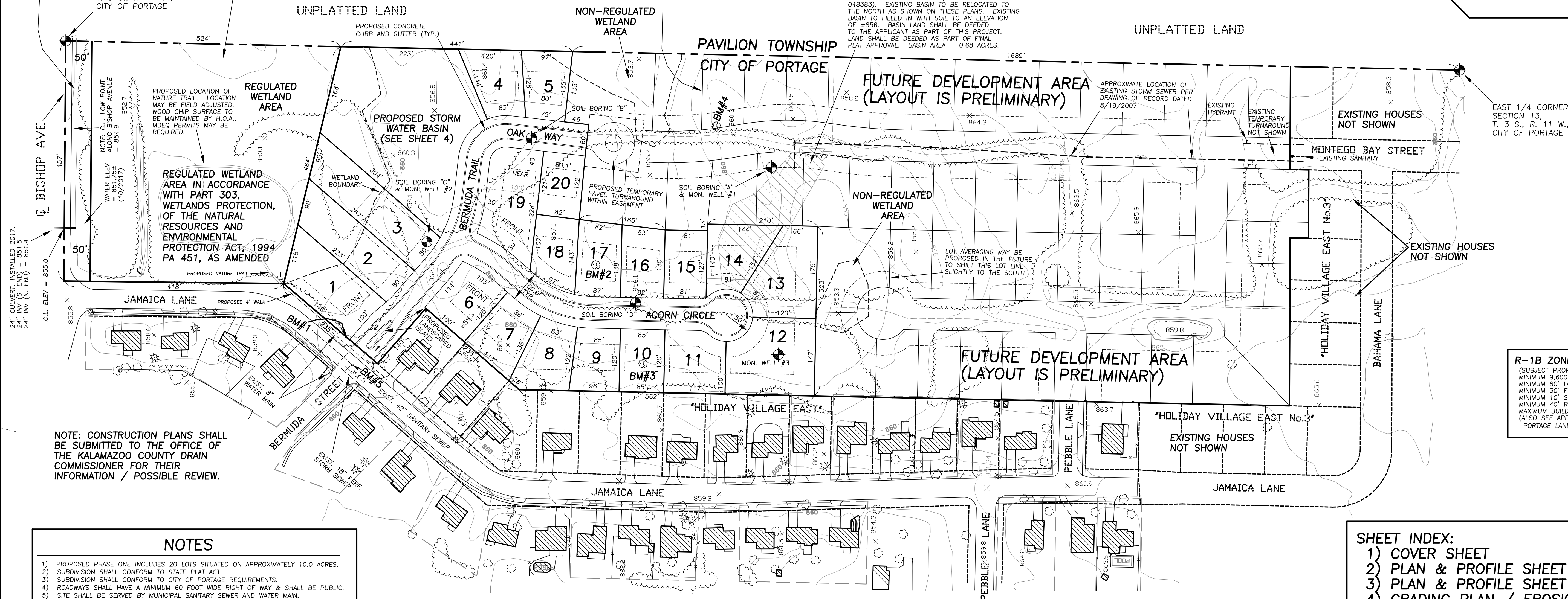
NORTHEAST CORNER,
SECTION 13,
T. 3 S., R. 11 W.,
CITY OF PORTAGE

LOT AVERAGING MAY BE
PROPOSED IN THE FUTURE
TO SHIFT THIS LOT LINE
SLIGHTLY TO THE SOUTH

NOTE: AREA FOR EXISTING STORMWATER INFILTRATION
BASIN WAS DEEDED TO THE CITY OF PORTAGE IN
2007 PER RECORDED DEED (DOCUMENT No.2007-
048383). EXISTING BASIN TO BE RELOCATED TO
THE NORTH AS SHOWN ON THESE PLANS. EXISTING
BASIN TO BE FILLED IN WITH SOIL TO AN ELEVATION
OF ±856. BASIN LAND SHALL BE DEEDED
TO THE APPLICANT AS PART OF THIS PROJECT.
LAND SHALL BE DEEDED AS PART OF FINAL
PLAT APPROVAL. BASIN AREA = 0.68 ACRES.



VICINITY MAP
NOT TO SCALE



NOTE: CONSTRUCTION PLANS SHALL
BE SUBMITTED TO THE OFFICE OF
THE KALAMAZOO COUNTY DRAIN
COMMISSIONER FOR THEIR
INFORMATION / POSSIBLE REVIEW.

R-1B ZONING INFORMATION:
(SUBJECT PROPERTY IS ZONED R-1B)
MINIMUM 9,600 SQ.FT. AREA WITH SEWER & WATER
MINIMUM 80' LOT WIDTH WITH SEWER & WATER
MINIMUM 30' FRONT YARD SETBACK
MINIMUM 10' SIDE YARD SETBACK
MINIMUM 40' REAR YARD SETBACK
MAXIMUM BUILDING COVERAGE OF LOT = 25%
(ALSO SEE APPLICABLE SECTIONS OF CITY OF
PORTAGE LAND DEVELOPMENT REGULATIONS)

NOTES

- 1) PROPOSED PHASE ONE INCLUDES 20 LOTS SITUATED ON APPROXIMATELY 10.0 ACRES.
- 2) SUBDIVISION SHALL CONFORM TO STATE PLAT ACT.
- 3) SUBDIVISION SHALL CONFORM TO CITY OF PORTAGE REQUIREMENTS.
- 4) ROADWAYS SHALL HAVE A MINIMUM 60 FOOT WIDE RIGHT OF WAY & SHALL BE PUBLIC.
- 5) SITE SHALL BE SERVED BY MUNICIPAL SANITARY SEWER AND WATER MAIN.
- 6) STORM SEWER SYSTEM SHALL DRAIN TO PROPOSED BASIN AREA. STORM SEWER WITHIN PROPOSED PUBLIC STREETS SHALL BE UNDER CITY OF PORTAGE JURISDICTION. PROPOSED BASIN SHALL BE UNDER CITY OF PORTAGE JURISDICTION.
- 7) SITE IS PRIMARILY TREE COVERED.
- 8) ALL LOTS SHALL COMPLY WITH CITY OF PORTAGE ZONING REQUIREMENTS. ALL LOTS SHALL HAVE AN AREA OF AT LEAST 9600 SQUARE FEET AND A LOT WIDTH OF AT LEAST 80.00 FEET. SHOWN LOT DIMENSIONS SUBJECT TO FINAL ADJUSTMENT.
- 9) SHOWN ELEVATIONS ARE BASED ON USGS DATUM. SHOWN TOPOGRAPHY & ELEVATION CONTOURS SHOWN ON SHEET 1 BASED ON 1992 & 2002 MAPS PREPARED BY OTHERS.
- 10) SIDEWALKS WILL BE PROVIDED ON BOTH SIDES OF ALL STREETS AND AROUND THE BULB OF ANY PERMANENT CUL DE SAC. PAVEMENT WIDTH SHALL BE A MINIMUM OF 26.0 FEET (30.0 FEET BETWEEN BACKS OF CURBS). ALL UTILITIES SHALL BE UNDERGROUND.
- 11) SHOWN PROPOSED STREET NAMES MAY BE REVISED.
- 12) A LAND DIVISION APPLICATION SHALL BE PREPARED AND SUBMITTED PRIOR TO FINAL PLAT APPROVAL FOR THE REMAINING LAND.
- 13) PLAT RESTRICTIONS SHALL INCLUDE A NOTE ADVISING THE PURCHASER OF LOTS 1, 6, AND 19 OF THE ADDITIONAL SIDEWALK MAINTENANCE AND ADDITIONAL LAWN CARE DUE TO THE ADDITIONAL ROAD FRONTAGE.
- 14) THE RETENTION BASIN SHALL BE FENCED PER CITY OF PORTAGE REQUIREMENTS.
- 15) AS REQUIRED BY THE CITY, DOCUMENTS RELATED TO THE HOMEOWNER'S ASSOCIATION FOR 'THE OAKS' SHALL BE PREPARED AND FINALIZED PRIOR TO FINAL PLAT APPROVAL.
- 16) AREA HAS HISTORY OF HIGH GROUNDWATER. BASEMENT ELEVATIONS SHALL BE SET APPROPRIATELY. SEE NOTES ON SHEETS 2, 3 AND 4.
- 17) SHOWN TOPOGRAPHIC MAP ON COVER SHEET (SHEET 1) WAS PREPARED FROM AERIAL PHOTOGRAPHS AND IS FROM THE CITY OF PORTAGE. ELEVATION CONTOURS AND PHYSICAL FEATURES SHOWN ON SHEET 4 (GRADING PLAN) ARE BASED ON A 2017 FIELD TOPOGRAPHIC MAPPING BY INGERSOLL, WATSON & MCMACHEN, INC.
- 18) A MAINTENANCE / INDEMNIFICATION AGREEMENT SHALL BE PROVIDED TO THE CITY AS REQUIRED (FOR ENTRY ISLAND AND FOR STORM BASIN).
- 19) ALL REQUIRED EASEMENTS SHALL BE PROVIDED TO THE CITY AND SHALL BE SHOWN ON THE PENDING FINAL PLAT MAP.

NOTE: SHOWN PROPOSED STREET NAMES MAY BE REVISED.
PROPOSED STREET NAMES ARE CURRENTLY UNDER REVIEW
BY COUNTY PLANNING OFFICE.

ELEVATION BENCHMARKS:

BM#1 = 857.51
(TOP OF LARGE HYDRANT OUTLET)
BM#2 = 857.96
(60d NAIL ON NORTHWEST SIDE 15" CHERRY TREE)
BM#3 = 859.93
(60d NAIL ON SOUTH SIDE 16" CHERRY TREE)
BM#4 = 861.79
(60d NAIL ON WEST SIDE 12" TREE)
BM#5 = 856.13
(TOP OF SANITARY SEWER MANHOLE LID)

SOIL BORING DATA:

SB "A":
0'-0.5': TOPSOIL
0.5'-5.5': SANDY CLAY & CLAYEY SAND
5.5'-8.5': COARSE SAND (WATER @ ±8.5')
SB "B":
0'-0.5': TOPSOIL
0.5'-3.5': SANDY CLAY & CLAYEY SAND
3.5'-7.5': COARSE SAND & GRAVEL (WATER @ ±6')
SB "C":
0'-0.5': TOPSOIL
0.5'-5.5': SAND W/FINES
5.5'-10': COARSE SAND (WATER @ ±10')
SB "D":
0'-0.5': TOPSOIL
0.5'-4.5': FINE SAND
4.5'-7.5': COARSE SAND (WATER @ ±5')

SHEET INDEX:

- 1) COVER SHEET
- 2) PLAN & PROFILE SHEET (BERMUDA TR. & OAK WAY)
- 3) PLAN & PROFILE SHEET (ACORN CIRCLE)
- 4) GRADING PLAN / EROSION CONTROL PLAN
- 5) CONSTRUCTION DETAILS & NOTES

APPLICANT/OWNER:
**LANDMARK DEVELOPMENT
PARTNERS, LLC**
5176 QUEEN VICTORIA LANE
KALAMAZOO, MI 49009
(269) 806-6823

REVISED: 10/24/2017
REVISED: 9/20/2017
REVISED: 9/06/2017
REVISED: 9/01/2017
REVISED: 8/22/2017

COVER SHEET Phase One of 'THE OAKS'		DATE: 6/06/2017
PART OF THE NORTHEAST 1/4 OF SEC. 13, T3S, R11W, CITY OF PORTAGE, KALAMAZOO CNTY., MICH.		SHEET: 1
Ingersoll, Watson & McMachen, Inc. CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS		JOB No.: 36417
1133 East Milham Road • Kalamazoo, Michigan 49002 • Area 269 344-6185 • Fax 269 344-0555		



LEGEND

- PROPOSED FIRE HYDRANT ASSEMBLY (8" x 6" TEE, 6" GATE VALVE, & HYD.)
- PROPOSED STOP SIGN/STREET SIGN
- PROPOSED TRAFFIC CONTROL SIGN
- PROPOSED 4.0' WIDE CONCRETE SIDEWALK
- PROPOSED CROSSWALK WITH PEDESTRIAN CROSSING SIGNS
- WATER MAIN
- STORM SEWER
- SANITARY SEWER
- SUGGEST LOCATION OF PROPOSED STREET LIGHT

GENERAL NOTES:

- 1) LIGHT POLES AND ANY UTILITY POLE/BOX SHALL BE LOCATED AT LEAST 5.0 FEET OFF BACK OF CURB.
- 2) STREET NAME SIGNS SHALL BE AT LEAST 9" FROM TOP TO BOTTOM OF ACTUAL SIGN (& PLACED AT STOP SIGNS).
- 3) ALL PAVEMENT MARKINGS AND ALL TRAFFIC SIGNAGE SHALL COMPLY WITH STANDARDS IN THE M.M.U.T.C.D. (CURRENT EDITION).
- 4) U-CHANNEL POSTS REQUIRED FOR ALL SIGNS.
- 5) SOIL EROSION & SEDIMENTATION CONTROL PERMIT SHALL BE OBTAINED AS REQUIRED BY STATE LAW.
- 6) PERMIT(S) SHALL BE OBTAINED FROM THE CITY OF PORTAGE AS REQUIRED.
- 7) M.D.E.Q. CONSTRUCTION PERMITS REQUIRED (FOR BOTH PUBLIC WATER MAIN & PUBLIC SANITARY SEWER) PRIOR TO THE COMMENCEMENT OF UTILITY INSTALLATION.
- 8) "NO PARKING THIS SIDE OF STREET" SIGNS SHALL BE INSTALLED ATOP THE FIRE HYDRANT SIGNS AND MIDWAY BETWEEN THE FIRE HYDRANTS ON THE HYDRANT SIDE OF THE STREETS.
- 9) FIVE INCH "STORM" FITTINGS SHALL BE USED ON FIRE HYDRANTS.
- 10) FOR ON-SITE DWELLINGS, BASEMENT FOOTINGS AND FOUNDATIONS SHALL COMPLY WITH BUILDING CODE REQUIREMENTS BASED ON TYPE OF SOIL PRESENT AND STABILITY OF SOIL.
- 11) FOR ON-SITE DWELLINGS, REQUIRED RADON VENTING SYSTEM BELOW BASEMENT FLOOR SHALL, AS A PRECAUTION, BE PLUMBED TO ALSO BE A DRAINAGE SYSTEM DURING PERIODS OF HIGH GROUNDWATER.
- 12) ALL PROPOSED STREET LIGHTS SHALL COMPLY WITH CITY OF PORTAGE STANDARDS AND CONSUMERS ENERGY STANDARDS WITH REGARDS TO LOCATION AND LIGHT SPECIFICATION.
- 13) ON-SITE SPEED LIMIT SHALL BE 25 MILES PER HOUR.
- 14) UNDERGROUND GAS, ELECTRIC, TELEPHONE AND CABLE TV LINES SHALL BE DESIGNED BY UTILITY OWNERS AND SHALL NOT BE LOCATED IN PROPOSED STREET RIGHT-OF-WAYS UNLESS UTILITY IS CROSSING STREET (SQUARE TO CENTER LINE).
- 15) AS-BUILT CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF THE ROADWAY PROJECT.
- 16) PRIOR TO START OF CONSTRUCTION, PRE-CONSTRUCTION MEETING SHALL BE HELD AT CITY OF PORTAGE OFFICES.
- 17) SEE SOIL BORING INFORMATION ON SHEET 1.

NOTE: NATURAL GAS, ELECTRIC, TELEPHONE, AND CABLE TV UNDERGROUND LINES SHALL BE CENTERED APPROXIMATELY 35.0' OFF CENTER LINE OF PROPOSED ROAD.

SCALES:
PLAN VIEW: 1" = 40'
PROFILE: 1" = 40' HORIZ.
1" = 4' VERTICAL

SEE SHEET 4

NOTE: ALL SHOWN WATER MAIN BENDS ON THIS SHEET ARE 11-1/4" BENDS UNLESS NOTED OTHERWISE.

STORM BASIN
(SEE SHEET 4)

PROPOSED PUBLIC 8" D.I.P. WATER MAIN

SEE SHEET 3

NOTE: ALL 'STOP BAR' STRIPES ARE 2.0' WIDE. ALL CROSSWALK STRIPES ARE 1.0' WIDE.

NOTE: STOP SIGNS ARE "R1-1" SIGNS.

NOTE: FOR LOTS 2 THROUGH 20, ALL BASEMENT FLOOR ELEVATIONS SHALL BE SET AT 856.5 OR HIGHER. THE HOUSE FOR LOT 1 SHALL BE BUILT ON A SLAB, WITH A SLAB ELEVATION OF 858.0 OR HIGHER.

HISTORIC HIGH GROUNDWATER ELEVATION NEAR THE SOUTH EDGE OF PHASE 1 OF "THE OAKS" IS 855.5. IN GENERAL, GROUNDWATER IS HIGHER TO THE SOUTH OF PHASE 1, AND GROUND WATER IS LOWER TO THE NORTH OF PHASE 1 OF "THE OAKS". EACH NEW HOUSE ON SITE WILL BE REQUIRED TO INCORPORATE A SUBBASEMENT DRAINAGE SYSTEM IN CONJUNCTION WITH THE REQUIRED RADON VENTING SYSTEM.

- ENTRY ISLAND NOTES:
- 1) NEIGHBORHOOD SIGN WILL REQUIRE CITY COUNCIL APPROVAL.
 - 2) MAINTENANCE / INDEMNIFICATION AGREEMENT SHALL BE PROVIDED TO THE CITY.
 - 3) PROPOSED SIGN/LANDSCAPING IS PENDING.

CAUTION: U/G UTIL'S

NOTE: VEHICLE DRIVER'S SIGHT DISTANCE REQUIREMENTS SHALL BE MAINTAINED AT ALL INTERSECTIONS.

STREET CUT PERMIT SHALL BE OBTAINED FROM THE CITY OF PORTAGE AS NECESSARY. PAVEMENT SHALL BE REPAIRED IN ACCORDANCE WITH CITY OF PORTAGE REQUIREMENTS.

325' LINE OF SIGHT / SIGHT DISTANCE SHALL BE MAINTAINED AT PROPOSED INTERSECTION FOR SAFETY IN ACCORDANCE WITH CITY REQUIREMENTS

BERMUDA TRAIL
STA 0+00 TO STA 5+30

OAK WAY
STA 5+30 TO STA 7+12

NOTE: REMOVAL OF WATER, OR 'DEWATERING', SHALL COMPLY WITH SECTION 202.0 OF THE CITY OF PORTAGE'S CONTRACT CONDITIONS AND SPECIFICATIONS WITH TWO EXCEPTIONS:

- 1) THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING THE APPROPRIATE MDEQ PERMITS.
- 2) RESTORATION OF DAMAGED STRUCTURES AND FOUNDATION SOILS RESULTING FROM DEWATERING SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

POINT OF DEWATERING DISCHARGE SHALL BE PROTECTED FROM EROSION (DEWATERING BAGS, PLYWOOD SHEETS, FILTER FABRIC, ETC.) AND SILT FENCE SHALL BE INSTALLED BETWEEN WETLAND AND POINT OF DEWATERING DISCHARGE.

NOTE: WATER SERVICES SHALL BE INSULATED PER CITY REQUIREMENTS IF HAVING LESS THAN 5.0' COVER

NOTE: WATER MAINS AND WATER SERVICES (WHERE CROSSING A SEWER LINE) SHALL PASS OVER OR UNDER SEWER LINE WHILE MAINTAINING 18" OF VERTICAL CLEARANCE. WATER MAINS AND WATER SERVICES SHALL ALSO MAINTAIN AT LEAST 5.0' OF EARTH COVER.

72 HOURS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171



DRAIN AREA FOR PIPE SOUTH OF CB#12 = 559,209 SF = 12.84 ACRES
RUN-OFF "C" = 0.54
RUN-OFF = (0.54)(3.8 CFS/AC)(12.84 AC) = 26.35 CFS
CUMULATIVE RUN-OFF = 26.35 CFS
FOR 26.35 CFS, USE 36" PIPE @ 0.13% MINIMUM SLOPE.
PLANS SHOW 36" PIPE @ 0.14% SLOPE.

REVISED: 11/1/2017
REVISED: 10/24/2017
REVISED: 10/9/2017
REVISED: 10/2/2017
REVISED: 9/20/2017
REVISED: 9/01/2017
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- PROPOSED CROSSWALK WITH PEDESTRIAN CROSSING SIGNS
- BARRIER FREE RAMP
- WATER MAIN
- STORM SEWER
- SANITARY SEWER
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NOTE: ALL SHOWN WATER MAIN BENDS ON THIS SHEET ARE 11-1/4" BENDS U.N.O.

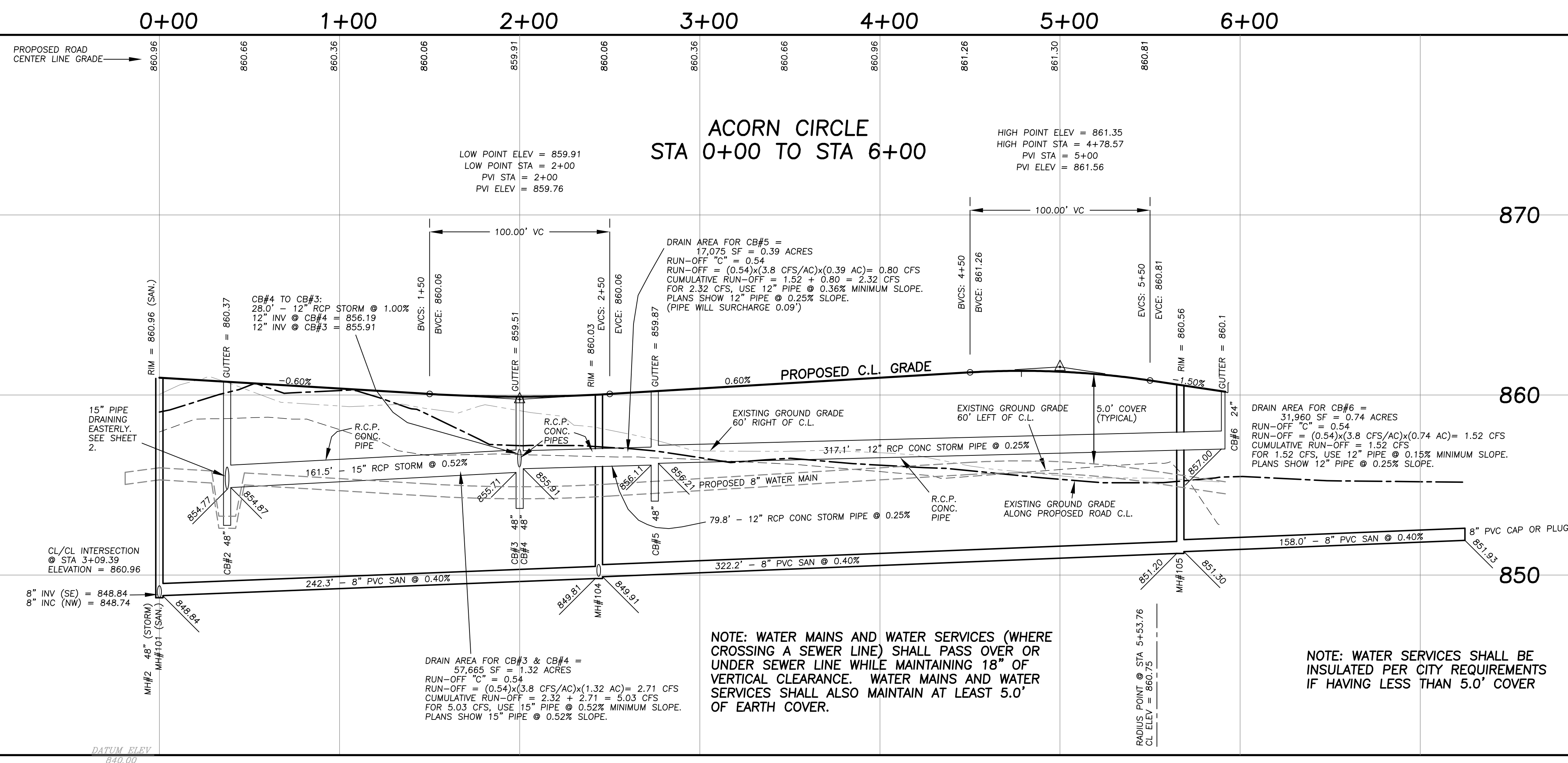
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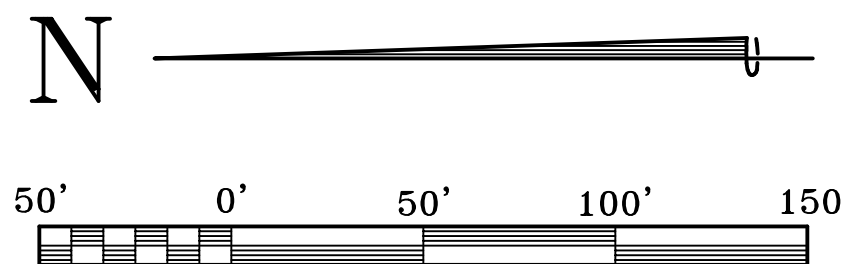
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POINT OF DEWATERING DISCHARGE SHALL BE PROTECTED FROM EROSION (DEWATERING BAGS, PLYWOOD SHEETS, FILTER FABRIC, ETC.) AND SILT FENCE SHALL BE INSTALLED BETWEEN WETLAND AND POINT OF DEWATERING DISCHARGE.

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NOTE: WATER SERVICES SHALL BE INSULATED PER CITY REQUIREMENTS IF HAVING LESS THAN 5.0' COVER



NOTE: A MAINTENANCE AND INDEMNIFICATION AGREEMENT BASIN SHALL BE PROVIDED RELATIVE TO THE STORMWATER BASIN OUTLET TO THE PROPERTY TO THE NORTH OF "THE OAKS"

Perforated pipe shall be corrugated polyethylene pipe (CPE), shall be ADS N-12, Hancor, or equiv. (dual wall, smooth inside, corrugated outside, perforated, soil tight joints), and shall comply with AASHTO M 294 Type SP.

Filter fabric shall be a nonwoven geotextile with a minimum weight of 3.5 ounces per square yard, a minimum coefficient of permeability of 0.02 cm/sec, and apparent opening size ranging between 70 to 120 U.S. standard sieve size.

Stone in perforated pipe trench shall be MDOT 6A stone.

98" OF 12" DIAMETER PERFORATED H.D.P.E. PIPE IN 36" WIDE BY 24" STONE BED (CLEAN MDOT 6A STONE) WITH FILTER FABRIC ON BOTH SIDES AND ON TOP OF STONES. BOTTOM OF STONES SHALL BE 12" BELOW BOTTOM OF PIPE.

PROPOSED CB#5
24" DIAMETER
W/EJW #65177 FRAME & GRATE
RIM ELEV = 854.0
12" INV (SW) = 850.78

NATURE TRAIL TO BE ESTABLISHED WITHIN LAND NORTH OF PHASE ONE BY THE OWNER, APPLICANT. LOCATION AND ROUTE TO BE FIELD DETERMINED.

BERMUDA STREET

EXISTING CATCH BASIN FRAME & GRATE SHALL BE SHIFTED EASTERLY TO FIT IN NEW CURB LINE. TOP OF LEACHING BASIN SHALL BE EITHER ROTATED AS NECESSARY. NEW LEACHING BASIN TOP SHALL BE PLACED. ENTIRE LEACHING BASIN SHALL BE SHIFTED, OR OTHER CITY APPROVED METHOD SHALL BE USED TO PLACE FRAME AND GRATE IN CITY APPROVED LOCATION. DISTURBED PAVEMENT SHALL BE SAWCUT AND REMOVED, AND DISTURBED AREA SHALL BE REPAVED. (IF DEEMED NECESSARY, EXISTING DRYWELL WILL BE REMOVED AND REPLACED WITH NEW DRYWELL STONE, AND FABRIC IN ACCORDANCE WITH CITY REQUIREMENTS)

LEGEND

--- 900 --- EXISTING ELEVATION CONTOUR
--- 900 --- PROPOSED ELEVATION CONTOUR

PROPOSED CB#9, 48" DIA
W/ EJW# 1020 FRAME &
TYPE M2 GRATE
RIM ELEV= 859.0± (1'±
BELOW EXISTING GRADE)
N 12" INVERT= 853.61
S 12" INVERT= 863.71

NOTE: STORM BASIN DESIGN SUBJECT TO CITY REVIEWS AND FINAL ADJUSTMENT.

NOTE: REMOVAL OF WATER, OR "DEWATERING", SHALL COMPLY WITH SECTION 202.0 OF THE CITY OF PORTAGE'S CONTRACT CONDITIONS AND SPECIFICATIONS WITH TWO EXCEPTIONS:
1) THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING THE APPROPRIATE MDEO PERMITS.
2) RESTORATION OF DAMAGED STRUCTURES AND FOUNDATION SOILS RESULTING FROM DEWATERING SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

NOTE: GRADING AND EARTH MOVING IN AREAS OUTSIDE OF PROPOSED ROADWAY AREAS SHALL BE DONE IN STAGES SO THAT AN AREA CAN BE STRIPPED, SHAPED, TOPSOILED, AND SEEDED IN A MINIMAL AMOUNT OF TIME. THE AMOUNT OF DISTURBED GROUND SHALL BE KEPT TO A MINIMUM DURING THE CONSTRUCTION PROJECT. DISTURBED AREAS SHALL BE RESTORED BY THE CONTRACTOR AS SOON AS CONVENIENTLY POSSIBLE.

SEE VICINITY MAP ON SHEET 1.

MICHIGAN UNIFIED KEYING SYSTEM

- Ⓢ SEEDING (ALL DISTURBED AREAS)
- Ⓡ RIP RAP
- Ⓟ PAVING
- Ⓢ CURB & GUTTER
- Ⓢ STORM SEWER
- Ⓢ CATCH BASIN
- Ⓢ GEOTEXTILE SILT FENCE
- Ⓢ M.U.K.S. DESIGNATION
- Ⓢ TEMPORARY/PERMANENT

ESTIMATED CONSTRUCTION SCHEDULE:

	OCT. '17	NOV. '17	APRIL '17	MAY '17
CLEARING				
EARTHMOVING				
SANITARY SEWER				
STORM SEWER				
WATER MAIN				
CURBING & PAVING				
PRIVATE UTILITIES				
RESTORATION				

NOTE: CONSTRUCTION SCHEDULE SUBJECT TO CHANGE BASED ON MARKET CONDITIONS, WEATHER, AND OTHER FACTORS.

SOIL EROSION CONTROL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (P.A. 451 OF 1994, AS AMENDED) AS ADMINISTERED BY THE CITY OF PORTAGE.
- EARTHWORK CONTRACTORS SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - BERMING OR FILTERING OF PROPERTY LINES AT ALL LOCATIONS WHERE EROSION COULD OCCUR.
 - PROTECTION OF ALL EXISTING AND NEWLY CONSTRUCTED STORM SEWER STRUCTURES, WHETHER ADJACENT TO OR ON THE SITE.
 - MINIMIZATION OF TRACKING OF MATERIAL OFF-SITE.
 - SWEEPING & CLEANING OF ADJACENT STREETS AS NECESSARY.
- PROPERTY OWNER SHALL OBTAIN SOIL EROSION & SEDIMENTATION CONTROL PERMIT.

RESTORATION NOTES

- ALL DISTURBED AREAS SHALL BE RESTORED WITH MINIMUM 4" TOPSOIL, GRASS SEED, AND MULCH, OR OTHER REQUIRED LANDSCAPING.
- EXISTING STREETS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTED PRIOR TO CONSTRUCTION.

TEMPORARY SOIL EROSION CONTROL MEASURES

- EARTH GRADING AROUND ALL NEW SANITARY SEWER AND STORM SEWER MANHOLES/CATCH BASINS SHALL BE SUCH THAT RAIN WATER/EROSION RUN-OFF CANNOT ENTER MANHOLE/CATCH BASIN. MINIMUM ONE FOOT TALL EARTH BERM SHALL ENIRCLE EACH MANHOLE/CATCH BASIN.
- ONCE GRATE IS INSTALLED ON STORM SEWER STRUCTURE, FILTER FABRIC SHALL BE PLACED ON GRATE TO PREVENT SOIL EROSION FROM ENTERING STORM SEWER SYSTEM.
- ALL STREETS SHALL BE KEPT CLEAR OF SOIL AND MUD. CONTRACTOR SHALL SWEEP/CLEAN NEARBY STREETS AS NECESSARY.
- ANY EVIDENCE OF SOIL EROSION SHALL BE EXAMINED AND ADDRESSED BY CONTRACTOR. INVOLVEMENT BY ENGINEER AND/OR CITY OF PORTAGE MAY BE NECESSARY.
- SOIL EROSION SHALL NOT BE ALLOWED ONTO ADJOINING PROPERTIES OR ONTO NATURAL AREAS OUTSIDE OF PROPOSED CONSTRUCTION AREA.
- SILTATION FENCING SHALL BE PLACED AS REQUIRED.

PERMANENT SOIL EROSION CONTROL MEASURES

- ALL NEW ROADWAYS SHALL BE PAVED.
- STORM SEWER SYSTEM SHALL CONVEY WATER RUN-OFF TO ON-SITE STORMWATER DETENTION BASIN.
- ALL DISTURBED AREAS SHALL RECEIVE TOPSOIL AND SEEDING PER THE PROJECT CONSTRUCTION PLANS.

MAINTENANCE REQUIREMENTS (AFTER CONSTRUCTED):

- ALL PAVED ROADWAYS AND ENTIRE STORM SEWER SYSTEM SHALL BE MAINTAINED BY THE CITY OF PORTAGE. ALL LAWNS SHALL BE MAINTAINED BY LOT OWNERS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER ENTIRE SITE HAS BEEN STABILIZED.

NOTE: ALL STORM SEWER INLETS/DRAINS SHALL HAVE GRATE WRAPPED IN FILTER FABRIC. FABRIC SHALL REMAIN IN PLACE UNTIL DISTURBED GROUND IS SUITABLY STABILIZED.

NOTE: FOR LOTS 2 THROUGH 20, ALL BASEMENT FLOOR ELEVATIONS SHALL BE SET AT 856.5 OR HIGHER. THE HOUSE FOR LOT 1 SHALL BE BUILT ON A SLAB, WITH A SLAB ELEVATION OF 858.0 OR HIGHER.

HISTORIC HIGH GROUNDWATER ELEVATION NEAR THE SOUTH EDGE OF PHASE 1 OF "THE OAKS" IS 855.5. IN GENERAL, GROUNDWATER IS HIGHER TO THE SOUTH OF PHASE 1, AND GROUND WATER IS LOWER TO THE NORTH OF PHASE 1 OF "THE OAKS". EACH NEW HOUSE ON SITE WILL BE REQUIRED TO INCORPORATE A SUBBASEMENT DRAINAGE SYSTEM IN CONJUNCTION WITH THE REQUIRED RADON VENTING SYSTEM.

APPLICANT:
**LANDMARK DEVELOPMENT
PARTNERS, LLC**
5176 QUEEN VICTORIA LANE
KALAMAZOO, MI 49009
(269) 806-6823

REVISED: 11/01/2017
REVISED: 10/24/2017
REVISED: 10/9/2017
REVISED: 10/2/2017
REVISED: 9/20/2017
REVISED: 9/01/2017
REVISED: 8/22/2017

GRADING & EROSION CONTROL PLAN Phase One of "THE OAKS" PART OF NE 1/4 OF SEC. 13, T3S, R11W, CITY OF PORTAGE, KALAMAZOO COUNTY, MICHIGAN	DATE: 6/06/2017
Ingersoll, Watson & McMachen, Inc. CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 1133 East Milham Road • Portage, Michigan 49002 • Phone 269 344-6165 • Fax 269 344-0555	SHEET: 4
	JOB No.: 36417



GENERAL NOTES

- 1) CONTRACTOR SHALL NOTIFY MISS DIG AT 1-800-482-7171 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 2) LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON THIS SITE WHICH ARE NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL UTILITIES ON SITE, WHETHER SHOWN ON THESE PLANS OR NOT.
- 3) CONTRACTOR SHALL PROVIDE ALL SIGNS, FENCING, LIGHTS, BARRICADES, ETC. NECESSARY TO PROVIDE FOR PUBLIC SAFETY DURING CONSTRUCTION.
- 4) REQUESTS FOR CONSTRUCTION STAKING SHALL BE DIRECTED TO THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THEIR ACTUAL NEED.
- 5) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR THE PROTECTION AND/OR RELOCATION OF EXISTING UTILITIES.
- 6) ALL MATERIALS PLACED DURING CONSTRUCTION SHALL BE IN NEW CONDITION, SHALL BE FREE FROM DEFECTS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY AND THEIR INSPECTOR.
- 7) ALL CONSTRUCTION SHALL BE SUBJECT TO CONSTRUCTION INSPECTION BY OWNER, OWNER'S REPRESENTATIVE, AND THE CITY OF PORTAGE.
- 8) ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON USGS DATUM AS PROMULGATED WITHIN THE CITY OF PORTAGE.
- 9) ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTAGE CONTRACT CONDITIONS AND SPECIFICATIONS.
- 10) A SOIL EROSION CONTROL PERMIT NEEDS TO BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY GRADING ACTIVITIES.

CONSTRUCTION NOTES

- 1) ALL PIPE LENGTH DISTANCES ARE FROM CENTER TO CENTER OF STRUCTURE.
- 2) ALL TRENCHING AND BACKFILLING FOR UTILITIES SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF PORTAGE STANDARD SPECIFICATIONS AND THE REQUIREMENTS INDICATED ON THE CONSTRUCTION DRAWINGS.
- 3) ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL RULES, REQUIREMENTS, AND LAWS.

WATER MAIN NOTES

- 1) ALL 8" OR 10" WATER MAIN SHALL BE AWWA C151, CLASS 52 DUCTILE IRON PIPE. ALL 12" WATER MAIN SHALL BE AWWA C151, CLASS 53 DUCTILE IRON PIPE. ALL PIPE SHALL HAVE CEMENT LINING AND SHALL BE INSTALLED ACCORDING TO THE CITY OF PORTAGE STANDARD SPECIFICATIONS (AVAILABLE AT CITY OFFICES).
- 2) ALL WATER MAIN CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY A CITY OF PORTAGE APPROVED INSPECTOR.
- 3) MINIMUM 5.0' AND MAXIMUM 6.0' OF COVER OVER NEW WATER MAIN PIPE IS REQUIRED ONCE FINAL SITE GRADING IS COMPLETE.
- 4) WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF PORTAGE STANDARD DETAIL SD-133, TYPICAL SERVICE LINE AND METER BOX INSTALLATIONS, PLUMBING PERMIT REQUIRED.
- 5) HYDRANT ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF PORTAGE STANDARD DETAIL SD-144, AUXILIARY VALVE LOCATION.
- 6) HYDRANT SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF PORTAGE STANDARD DETAIL SD-145, STANDARD HYDRANT SIGN.

SANITARY SEWER NOTES

- 1) ALL SANITARY SEWER PIPE SHALL BE SDR 26 PVC AND SHALL COMPLY WITH ASTM D 3033 OR D 3034. PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- 2) ALL SANITARY SEWER CONSTRUCTION, INCLUDING MAINLINES, LATERALS, MANHOLES, AND APPURTENANCES, SHALL CONFORM WITH THE CITY OF PORTAGE REQUIREMENTS AND SPECIFICATIONS AND SHALL BE SUBJECT TO THEIR INSPECTION.

PRIVATE UTILITY NOTES

- 1) UNDERGROUND ELECTRIC, NATURAL GAS, TELEPHONE, AND CABLE TV PRIVATE UTILITIES SHALL BE SIZED AND INSTALLED BY UTILITY OWNERS.

STORM SEWER NOTES

- 1) STORM SEWER PIPE SHALL BE EITHER CORRUGATED POLYETHYLENE (C.P.E.) OR REINFORCED CONCRETE (R.C.P.).
- 2) CORRUGATED POLYETHYLENE (C.P.E.) PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M 294 TYPE 5 (DUAL WALL, SMOOTH INSIDE, CORRUGATED OUTSIDE, NO PERFORATIONS). THE JOINTS SHALL BE WATERTIGHT AND COMPLY WITH ASTM D 3212. (HANCOR HI-Q, ADS N-12, OR EQUIVALENT)
- 3) REINFORCED CONCRETE PIPE (R.C.P.) SHALL MEET THE REQUIREMENTS OF ASTM C 76 CLASS III. THE JOINTS SHALL BE WATERTIGHT AND COMPLY WITH ASTM C 443.
- 4) PREMIUM WATERTIGHT JOINTS (RUBBER OR SLIP SEAL) ARE REQUIRED AT EACH STORM SEWER PIPE JOINT IN ACCORDANCE WITH CITY OF PORTAGE REQUIREMENTS.
- 5) PIPE CONNECTIONS AT ALL SOLID WALLED STRUCTURES SHALL BE MADE WITH A WATERTIGHT RESILIENT CONNECTOR (RUBBER TYPE BOOT WITH STAINLESS STEEL BANDS, OR OTHER TYPE AS APPROVED BY CITY OF PORTAGE).
- 6) STORM SEWER PIPE SHALL HAVE A MINIMUM OF 24 INCHES OF COVER.
- 7) ALL STORM SEWER PIPE AND INSTALLATION SHALL COMPLY WITH CITY OF PORTAGE "CONSTRUCTION SPECIFICATIONS AND STANDARDS"
- 8) ALL STORM SEWER PIPE, JOINTS, AND GASKETS SHALL BE INSPECTED. ANY DEFECTIVE PRODUCTS SHALL NOT BE INSTALLED AND SHALL BE REMOVED FROM THE SITE.
- 9) ALL SOLID WALLED STRUCTURES SHALL HAVE CONCRETE BOTTOMS.
- 10) DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE BACKFILL HAS BEEN PLACED AND PRIOR TO INSTALLING ANY ASPHALT OR CONCRETE SURFACE. NO PIPE SHALL EXCEED A DEFLECTION OF FIVE (5) PERCENT. THE DEFLECTION TEST SHALL BE RUN USING A RIGID BALL OR MANDREL, HAVING A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE.

SOIL EROSION CONTROL NOTES (SEE SHEET 4)

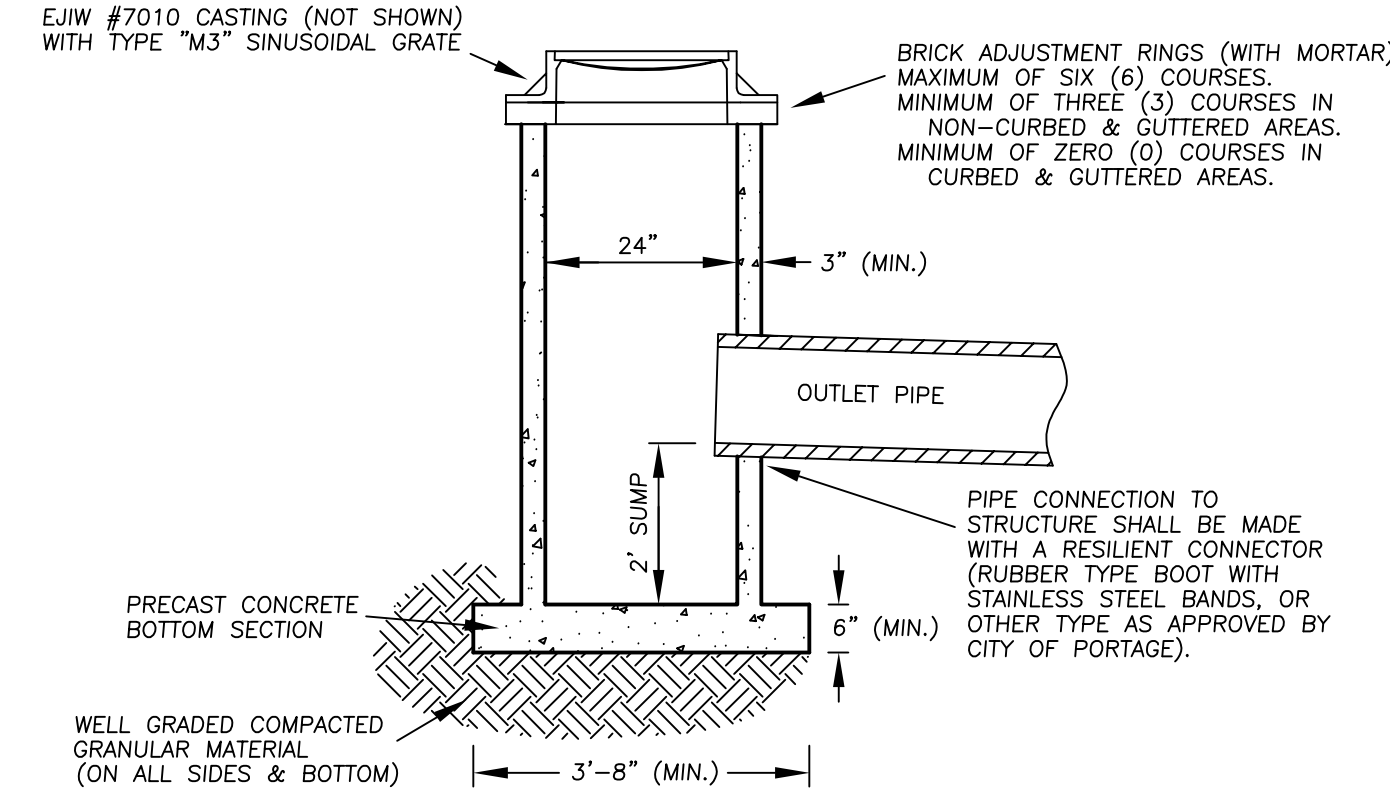
- 1) ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (P.A. 451 OF 1994, AS AMENDED) AS ADMINISTERED BY THE CITY OF PORTAGE.
- 2) EARTHWORK CONTRACTORS SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - A) BERMING OR FILTERING OF RUNOFF AT PROPERTY LINES WHERE EROSION COULD OCCUR.
 - B) PROTECTION OF ALL EXISTING AND NEWLY CONSTRUCTED STORM SEWER STRUCTURES, WHETHER ADJACENT TO THE SITE OR ON THE SITE.
 - C) MINIMIZATION OF TRACKING OF MATERIAL OFF-SITE.
 - D) SWEEPING AND CLEANING OF ADJACENT STREETS AS NECESSARY.
- 3) OWNER SHALL OBTAIN "SOIL EROSION CONTROL PERMIT" FROM THE CITY OF PORTAGE.

RESTORATION NOTES

- 1) ALL DISTURBED AREAS SHALL BE RESTORED WITH MINIMUM 4" TOPSOIL AND GRASS SEED, OR OTHER REQUIRED LANDSCAPING.
- 2) EXISTING STREETS AND YARDS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTED PRIOR TO CONSTRUCTION.

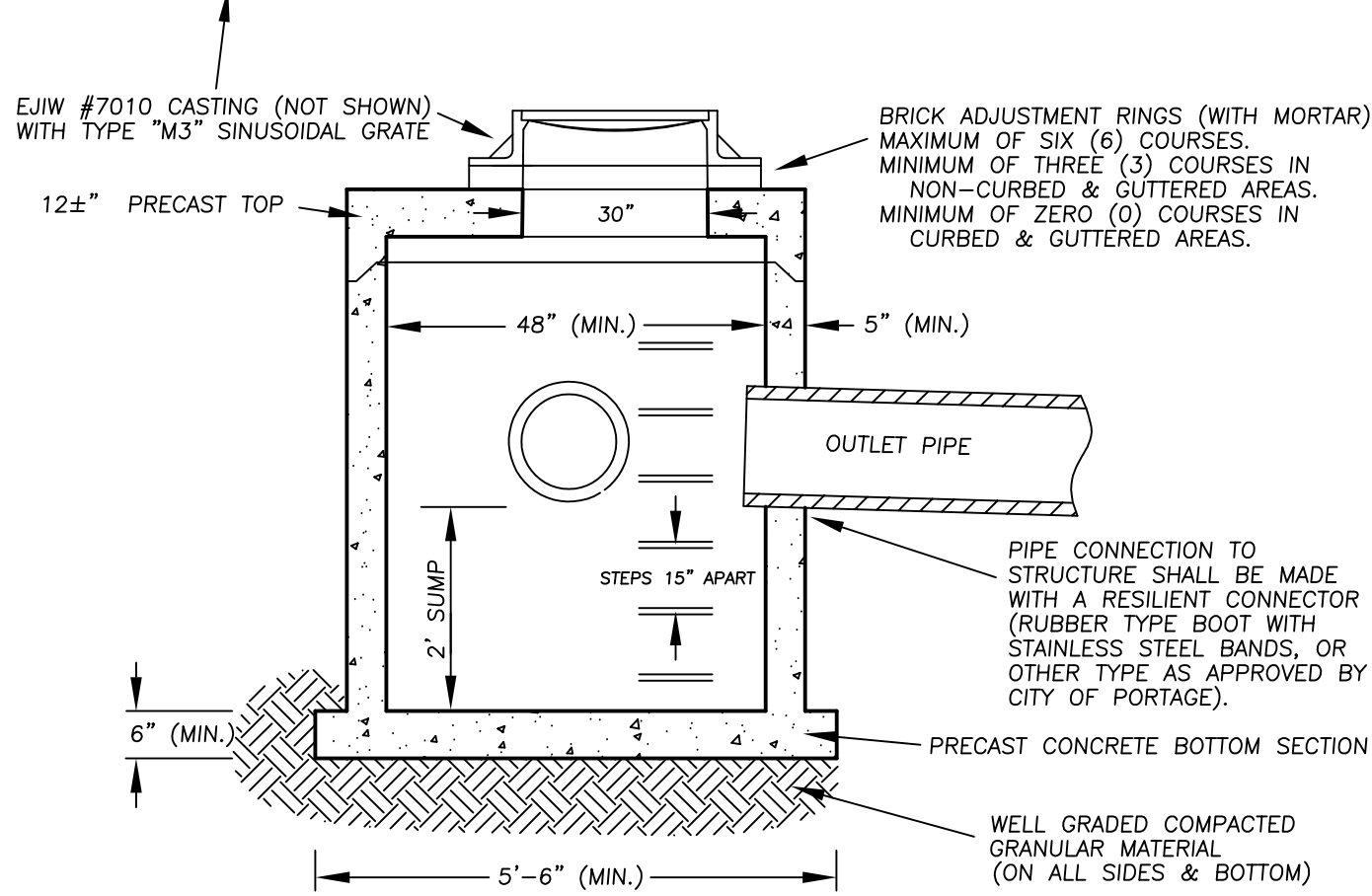
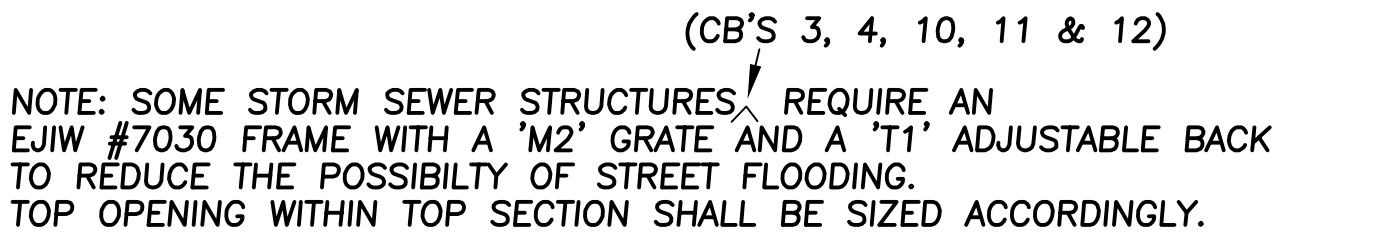
STREET LIGHTS & STREET SIGNS

- 1) DECIDUOUS TREES AT PLANTING SHALL HAVE A MINIMUM CALIPER OF 1.5" AT 6" ABOVE THE ROOT BALL; A CLEAR STEM OF 4 FEET; AND A BURLAP BALL SIZE OF AT LEAST 10 TIMES THE CALIPER. ALLOWED TREES INCLUDE: SARCENT CHERRY, AMUR CORKTREE, GOLDENRAIN TREE, MAPLES (HEDGE, PACIFIC SUNSET, TRIODENT, TATARIAN MAPLE), AMERICAN & EUROPEAN HORNBARK, KATSURA TREE, IVORY SILK JAPANESE TREE LILAC, & ORNAMENTAL PEARS (CLEVELAND AND REDSPIRE CALLERY PEAR).
- 2) STREET LIGHTS SHALL BE 8500 LUMEN, HIGH PRESSURE SODIUM VAPOR (OR LED). CITY STANDARD LIGHT POLES SHALL HAVE A HEIGHT OF ±20 FEET. ALL LIGHT STANDARDS AND UTILITY POLES SHALL BE LOCATED AT LEAST 5 FEET OFF PROPOSED BACK OF CURB.
- 3) ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS MUST CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ("M.M.U.T.C.D.").
- 4) ALL STREET SIGNS SHALL CONFORM TO CITY OF PORTAGE PUBLISHED REQUIREMENTS. ALL SIGNS SHALL BE INSTALLED ON 3 POUND GALVANIZED U-CHANNEL POSTS AND SHALL HAVE A MINIMUM POST BURY OF 36 INCHES. DISTANCE FROM BOTTOM OF SIGN TO GROUND SHALL BE 7 FEET. ANYTHING NOT SPECIFIED IN THESE PLANS SHALL BE IN ACCORDANCE WITH THE M.M.U.T.C.D. STREET NAME SIGNS SHALL BE 9 INCHES TALL (VERTICAL DIMENSION OF ACTUAL SIGN).



24" STORM SEWER INLET

- NOTES:
- 1) STRUCTURE SHALL HAVE A 2 FOOT SUMP UNLESS SLOPE OF OUTLET PIPE EQUALS OR EXCEEDS THREE (3) PERCENT.
 - 2) HEIGHT OF STRUCTURES WILL VARY BUT SHALL NOT EXCEED FIVE (5.0) FEET.
 - 3) STRUCTURES SHALL BE PRECAST CONCRETE AND CONFORM TO ASTM C-478.
 - 4) SEE RELATED CITY OF PORTAGE STANDARD DETAILS:
SD-102, 24" CATCH BASIN
SD-103, STANDARD CURB INLET CASTING
SD-104, STANDARD DROP CURB INLET CASTING

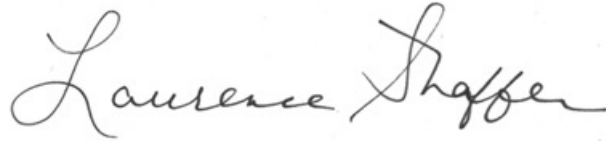


48" STORM SEWER STRUCTURE W/FLAT TOP

- NOTES:
- 1) MANHOLE STRUCTURES SHALL NOT HAVE A SUMP AND SHALL REQUIRE EJIW #1410 CASTING OR CITY APPROVED EQUIVALENT.
 - 2) HEIGHT OF STRUCTURES WILL VARY.
 - 3) STRUCTURES SHALL BE PRECAST CONCRETE AND CONFORM TO ASTM C-478.
 - 4) SOME STRUCTURES MAY HAVE TO BE ENLARGED TO ACCOMMODATE PIPES AND RESILIENT CONNECTORS. STRUCTURAL DIMENSIONS FOR LARGER DIAMETER STRUCTURES SHALL CONFORM TO ASTM C-478.
 - 5) MANHOLE STEPS SHALL BE EJIW #8501 OR EQUIVALENT.
 - 6) INSTALL STEPS AFTER STRUCTURE IS IN PLACE TO INSURE STEPS ARE LOCATED UNDER OPENING. TOP STEP SHALL BE NO MORE THAN 24 INCHES FROM TOP OF CASTING. BOTTOM STEP SHALL BE NO MORE THAN 24 INCHES FROM BENCH/BOTTOM OF STRUCTURE.
 - 7) SEE RELATED CITY OF PORTAGE STANDARD DETAILS:
SD-101, STANDARD 48" DRAINAGE STRUCTURE
SD-103, STANDARD CURB INLET CASTING
SD-104, STANDARD DROP CURB INLET CASTING
SD-105, STANDARD MANHOLE STEP
SD-106, SANITARY SEWER STANDARD MANHOLE CASTING
SD-107, SANITARY SEWER PRESSURE-TIGHT MANHOLE CASTING
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TO: Honorable Mayor and City Council

FROM: Laurence Shaffer, City Manager



SUBJECT: Closed Session

SUPPORTING PERSONNEL:

ACTION RECOMMENDED: That City Council meet in Closed Session immediately following the regularly scheduled City Council Meeting of Tuesday, November 7, 2017.

A closed session is requested immediately following the regularly scheduled Council meeting of Tuesday, November 7, 2017. The purpose of this closed session is to discuss a personnel matter. City Council will reconvene in public session subsequent to completion of the closed session.

FUNDING: N/A

Attachments: 1. N/A

City of Portage - Historic District Commission
Wednesday, October 4, 2017
Portage City Hall – Conference Room #2

MINUTES

Called to Order at 8:21 a.m.

Present: Suzanne Nemeth, Jessie Duniphin, Collin Forrest, Mike Barton, Katie VanLonkhuyzen and Erica Eklov (SL).

Absent: Fred Grunert, Marty Maytnier (excused)

Citizens: Mick Lynch and Laura Bouw

Old Business:

- 1) Minutes from the regular meeting of September 13, 2017 were approved with a change to note Fred chaired regular meeting, with Katie chairing special meeting that followed.
- 2) Erica provided a verbal update on the list of Current Properties / Open Cases:
 - a. 5134 Oakland Drive – no longer for sale
 - b. 3221 W. Milham barn – no new progress
 - c. 1521 E. Centre (Davis) / Selinon Park development – Full Circle revised apartment complex proposal for re-submission of tax credit application to MSHDA per 9/12/17 Council meeting.
 - d. 922 W. Osterhout (Norman) exterior work (siding/windows) – need to follow-up
 - e. 2112 Vanderbilt – still for sale
 - f. 903 East Centre – listed for sale (as historic), Erica sent the realtor a letter / house is vacant
- 3) Community Awareness
 - a. Erica provided an update on the Parks Department joint “All Hallows in the Park” October event to open Celery Flats buildings. She noted volunteers should wear black and either bring existing name tags or see Erica at the beginning for a temporary one. Two youth members have signed up to assist. Suzanne suggested checking with the high schools as kids need volunteering credits. May be an option for future events.
 - b. It was noted that Mick Lynch and his daughter were interviewed for a front page segment in the local “Spark” Magazine. Jessie mentioned she would share the article on the HDC Facebook page.

New Business:

- 1) 5720 Oakland Drive Barn – Erica noted that the HDC had received additional info requested from the owner via e-mail. Katie noted two issues: 1) no drawing or materials noted. Erica said drawings were sent in original application, but did not identify materials; and 2) there is a concern with the lack of a time table submission and no immediate solutions provided. She mentioned that with the Nieuwenhuis barn, the HDC had a set time table to follow. With financial constraints, the current proposal is open-ended, which leaves a possibility that reconstruction may never occur. There currently is no code enforcement active with this property as was the case with 3221 W. Milham. Katie inquired with Erica as to why the desire is to re-build the barn in the same large scale if funds are a concern. Scaling down the size may minimize costs. Citizen Mick Lynch offered to provide his insight on the barn strategy based on his prior experience. Discussion on the age and status of the barn ensued. Erica reviewed the expert opinions on the barn provided by Steve Stier and Scott Pastor of the Michigan Barn Preservation Network. Citizen Laura Bouw inquired what would be needed to secure and mothball the structure. Erica replied with the February 20, 2017 opinion from Steve Stier. Discussion followed on the options of mothballing versus deconstruction. Katie asked what the group thought about declining the

application and asking for mothballing. Katie then asked Erica to contact Steve Stier again and get a cost estimate for the mothballing option, and if possible, his estimated percentage of materials salvageable based on his earlier site visit. Katie motioned to table the September 5, 2017 application pending the response from Steve Stier for consideration. Katie motioned to set a special meeting to review the information from Steve and make a final decision on the September 5th application for Wednesday, October 18 at 8:15 a.m. Motion seconded by Jessie and vote passed unanimously.

Citizen Comments: No additional comments.

Member Comments: None.

Adjournment: 9:45 a.m.

Portage Historic District Commission
Historic District Study Committee

Special Meeting
Public Hearing – part II
Conference Room 2
Wednesday, October 4th, 2017

Present: C. Forrest, J. Duniphin, F. Grunert, E. Eklov, M. Barton, K. VanLonkhuyzen

Absent: S. Nemeth, F. Grunert, M. Maytnier (excused)

Citizens: Mick Lynch and Laura Bouw

Meeting called to order at 9:46 AM.

NEW BUSINESS:

Public Hearing for 2663 Mandigo re-opened from 9/13/17 adjournment.

- The City Clerk still has not received any comments on the Commission's preliminary report.
- Erica updated the Study Committee on the response from the County Treasurer's Office and the Land Bank regarding the status of the two professional opinions, as well as a subsequent phone conversation with the County Treasurer.
- Mick Lynch and Laura Bouw, owners of the properties at Sprinkle and Bishop, commented on a personal site visit to the property at 2663 Mandigo. They both commented that they agree with the Study Committee's recommendation in the preliminary report regarding the nature of the buildings. They both commented that the ranch has value to be saved as well. Mick asked what options and leverage the city has with the County.
- Mick mentioned his family would be interested in assuming ownership of the buildings, but only as a last resort if a demolition permit was submitted.
- Katie relayed that she had asked the County Treasurer about offering the property for sale or splitting the 7-acre parcel during her brief phone conversation.
- Laura Bouw commented that she could not locate the Mandigo property listing amongst the Kalamazoo County Treasurer's foreclosed property auction database/website.

Next steps:

- The Study Committee will adjourn the public hearing again and postpone the final discussion pending receipt of the two professional opinions or reports regarding the structural stability and integrity of the buildings/property. Erica had already discussed this with Chief Deputy Treasurer Megan Buwalda via e-mail.

Meeting adjourned at 9:55 AM.

Next Special Meeting to be held after Regular HDC meeting on November 1, 2017.

City of Portage
Historic District Commission
Portage City Hall
Conference Room #1
Wednesday, October 18, 2017

Special Meeting

Meeting called to order: 8:25 AM

Present: K. VanLonkhuyzen, S. Nemeth, C. Forrest, J. Duniphin, E. Eklov, M. Maytnier

Absent: F. Grunert, M. Barton (excused)

Discussion and Vote on proposal to take down Vergunst Barn

Mr. Vergunst has asked for approval to take down the historic barn on his property and store the salvaged materials in a garage available on the property until such time as he is able to put up a new barn using the same foot print and the salvaged materials.

Certificates of approval have an automatic 6 month renewal clause, but Mr. Vergunst has asked for an unspecified timeline.

The HDC has never approved a COA without a specified timeline.

A motion was made, seconded and approved to give Mr. Vergunst approval for disassembling and storing barn materials under the following conditions:

- An HDC site visit prior to take down.
- Catalog of all stored materials.
- Salvaged materials are to be stored according to the written standards of the HDC.
- Submission of a formal re-construction plan prior the 6 month renewal clause of the current COA.

Erica will send a letter from the HDC informing Mr. Vergunst of his approval with the above conditions.

Meeting adjourned 8:50 AM.

Next Regular meeting for the HDC is on Wednesday, November 1, 2017

Respectfully submitted: Martha Deming Maytnier/Recording Secretary

PLANNING COMMISSION

October 19, 2017

The City of Portage Planning Commission meeting of October 19, 2017 was called to order by Chairman Stoffer at 7:00 p.m. in Council Chambers of Portage City Hall, 7900 South Westnedge Avenue. Two citizens were in attendance.

PLEDGE OF ALLEGIANCE:

Chairman Stoffer led the Commission, staff and citizens in the Pledge of Allegiance.

IN ATTENDANCE:

Christopher Forth, Deputy Director of Planning, Development and Neighborhood Services; and Randy Brown, City Attorney.

ROLL CALL:

Mr. Forth called the roll: Patterson (yes), Shoup (yes), Stoffer (yes), Schimmel (yes), Harrell-Page (yes), Place (yes), Joshi (yes) and Corradini (yes). A motion was made by Commissioner Schimmel, seconded by Commissioner Joshi, to approve the roll excusing Commissioner Bosch. The motion was unanimously approved 8-0. Chairman Stoffer welcomed Meredith Place to the Planning Commission.

APPROVAL OF MINUTES:

Chairman Stoffer referred the Commission to the October 5, 2017 meeting minutes contained in the agenda packet. A motion was made by Commissioner Schimmel, seconded by Commissioner Harrell-Page, to approve the minutes as submitted. The motion was unanimously approved 8-0.

SITE/FINAL PLANS:

1. Final/Site Plan: Whisper Rock Condominiums (Phase II), 2275 West Centre Avenue. Mr. Forth summarized the October 13, 2017 staff report regarding a request by American Village Development II to construct the second phase of the Whisper Rock Condominiums. Mr. Forth indicated that Phase II of Whisper Rock Condominiums would include a total of 21 residential condominium dwellings (nine 2-unit attached buildings and one 3-unit attached building) and associated site improvements along the interior/western portion of the subject property. Mr. Forth discussed access to the site, storm water management, sidewalks and indicated the second phase of the Whisper Rock Condominium Planned Development has been designed in substantial conformance with the January 2016 approved tentative plan.

Jack Gesmundo, American Village Development II, was present to support the application and discuss the development project. After a brief discussion, a motion by Commissioner Patterson, seconded by Commissioner Shoup, to recommend to City Council that the Final/Site Plan for Whisper Rock Condominiums (Phase II), 2275 West Centre Avenue, be approved. The motion was unanimously approved 8-0.

PUBLIC HEARING:

1. Rezoning Application: Rezoning Application #17/18-1, 9444 South Sprinkle Road and 4691 Branch Avenue. Mr. Forth referred the Commission to the October 18, 2017 email communication from Mr. Andrew Rossell contained in the final agenda requesting that the rezoning consideration be adjourned to the November 2, 2017 meeting. Commissioner Schimmel asked Attorney Brown how many adjournments is acceptable. Attorney Brown indicated the Commission should determine if the request for another adjournment is reasonable.

The applicant's representative, Andrew Rossell, AR Engineering, was present to support the request for another adjournment, but only until the November 2, 2017 meeting Mr. Rossell indicated that discussions

among the parties involved with the sale and development of the site were ongoing. Additionally, Mr. Rossell stated he did reach out to the adjacent property only to let them know his client was again requesting an adjournment. Harrell-Page asked who the proposed retail use is. Mr. Rossell stated that information is still confidential.

The public hearing was reconvened by Chairman Stoffer. No citizens spoke regarding the proposed rezoning. A motion was made by Commissioner Patterson, seconded by Commissioner Harrell-Page, to adjourn the public hearing for Rezoning Application #17/18-1, 9444 South Sprinkle Road and 4691 Branch Avenue, to the November 2, 2017 meeting at the request of the applicant. The motion was unanimously approved 8-0.

NEW BUSINESS:

None

OLD BUSINESS:

None.

STATEMENT OF CITIZENS/COMMISSIONERS:

Commissioner Shoup and Joshi stated that they will not be present at November, 2, 2017 meeting.

ADJOURNMENT:

There being no further business to come before the Commission, the meeting was adjourned at 7:30 p.m.

Respectfully submitted,

Christopher T. Forth, AICP
Deputy Director of Planning, Development and Neighborhood Services

TO: Honorable Mayor and City Council

FROM: Laurence Shaffer, City Manager



SUBJECT: Panasonic Toughbooks for Field Inspections and Code Enforcement

SUPPORTING PERSONNEL: Devin Mackinder, Director of Technology Services

ACTION RECOMMENDED: That City Council approve the three-year lease of eight (8) Panasonic CF-33 Toughbooks through Capital Advantage Leasing of Grand Rapids, Michigan, at a lease price of \$29,806 and authorize the City Manager to execute all related documents on behalf of the city.

The use of mobile tablets for various city field operations, in conjunction with automated data collection software, provides enhanced customer service, data accuracy and internal efficiency with immediate data updates, automated approval workflows and real-time work order management. City field personnel are also able to have instant access to information located back at the office while using the mobile tablets.

The 2017-2018 Capital Improvement Program budget provides funding for replacement of the current obsolete mobile field tablets, which are no longer capable of supporting the software and processes used by city staff. The Technology Services Department has chosen to replace the current mobile tablets with the Panasonic CF-33 Toughbook models based on staff feedback, software compatibility and references provided by other municipal agencies.

The city received eight bid proposals for the provision of eight Panasonic CF-33 Toughbook models, with the lowest and best bid provided by Bizco Technologies in the amount of \$28,048. The total three-year lease amount provided through Capital Advantage Leasing is \$29,806.80.

Leasing bulk commodity items such as computers provides numerous advantages such as providing for appropriately timed replacements and upgrades in order to keep up with technology requirements. In this case, leasing also reduces maintenance issues by providing for a continuously standardized fleet of computers as well as reducing the expense and time associated with equipment disposal. Leasing also allows for predictable year-to-year budget. Capital Advantage Leasing, a vendor in good standing with the city, continues to provide competitive lease rates which are typically at or below commercial lease rates and flexible terms such as no-cost equipment disposal or reimbursement for non-functioning equipment that is returned at the end of the lease.

Therefore, it is recommended that City Council approve the three-year lease of eight (8) Panasonic CF-33 Toughbooks provided through Capital Advantage Leasing in the amount of \$29,806.80 and authorize the City Manager to execute all related documents.

FUNDING: Fiscal Year 2017-2018 Information Services Improvements Capital Improvement Program

Attachments: 1. Bid Tabulation

BID TABULATION
PANASONIC TOUGHBOOKS
BIDS OPENED OCTOBER 26, 2017

<u>Bidder</u>	<u>Panasonic CF-33 Toughbook</u>		<u>Panasonic Auto Adapter</u>		<u>Grand Total</u>
	<u>Each</u>	<u>8 Total</u>	<u>Each</u>	<u>8 Total</u>	
Bizco Technologies 3441 Girard Ave. S. Minneapolis, MN 55408	\$3,394.00	\$27,152.00	\$112.00	\$896.00	\$28,048.00
SHI International 289 Davidson Ave. Somerset, NJ	\$3,475.00	\$27,800.00	\$106.85	\$854.80	\$28,654.80
Zones, Inc. 1102 15th St. SW, Suite 102 Auburn, WA 98001-6524	\$3,502.27	\$28,018.16	\$115.52	\$924.16	\$28,942.32
Precision Data Products 5036 Falcom View Ave. SE Kentwood, MI 49512	\$3,566.25	\$28,530.00	\$117.25	\$938.00	\$29,468.00
GovConnection, Inc. dba Connection Public Sector Solutions 732 Milford Rd. Merrimack, NH 03054	\$3,621.41	\$28,971.28	\$120.71	\$965.68	\$29,936.96
Cetrix Technologies 8 The Green, Suite No. 5945 Dover, DE	\$3,680.00	\$29,440.00	\$120.00	\$960.00	\$30,400.00
Scan Technology, Inc. 2114 SW 75th Terrace Gainesville, FL 32607	\$3,985.00	\$31,880.00	\$155.00	\$1,240.00	\$33,120.00
<u>Invalid Bid</u> Howard Technology Solutions PO Box 1590 Laurel, MS 39441					